



9

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: JOSH ROGERS, PLANNER II *JR*
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: MAY 6, 2020

SUBJECT: DR19-143, BUNGALOWS ON ASH

STRATEGIC INITIATIVE: Prosperous Community

To allow a single-story multi-family development near the commercial environment along Gilbert Road.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR19-143 The Bungalows on Ash: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 15.91 acres, generally located north of the northeast corner of Gilbert Rd. and Houston Ave., and zoned Multi-Family/Low (MF/L) with a Planned Area Development.

APPLICANT

Company: Pew & Lake
Name: Sean B. Lake
Address: 1744 S. Val Vista Dr., Ste. 217
Mesa, AZ 85204
Phone: 480-461-4670
Email: sean.lake@pewandlake.com

OWNER

Company: Gilbert Ash Development, LLC
Address: 2157 E. Baseline Rd., Ste. 101
Tempe, AZ 85283

BACKGROUND/DISCUSSION

History

Date	Description
<i>June 17, 1986</i>	Town Council adopted Ordinance No. 466 pertaining to rezoning approximately 31 acres to Planned Shopping Center-2 (PSC-2) for a retail and medical office center.
<i>March 1, 1988</i>	Town Council approved Z88-1 by adopting Ordinance No. 553, amending the original PAD and including the development plans for Price Savers.
<i>April 13, 1995</i>	Design Review Board approved site plan and elevations for a Kyoto Bowl restaurant.
<i>July 21, 1998</i>	Town Council approved SP444 pertaining to the Final Site Plan for Phase I, and preliminary site plan for phase II and III for a proposed shopping center on the subject parcel.
<i>October 15, 1998</i>	Design Review Board approved site plan and elevations for an IHOP restaurant.
<i>April 11, 2000</i>	Town Council approved Z99-53, amending the PAD to permit gas sales.
<i>April 11, 2000</i>	Design Review Board approved site plan and elevations for a QuikTrip gas station.
<i>March 24, 2020</i>	Town Council approved GP19-09 (Resolution No. 4124) and Z19-21 (Ordinance No. 2752) changing the land use designation and zoning district from General Commercial to Multi-Family/Low (MF/L) with a PAD.

Overview

The subject site is located between Baseline Road and Houston Ave. on the east side of Gilbert Road, directly north of the existing Sam's Club. The site was originally envisioned as part of the larger 31-acre shopping and medical center without any projects coming to fruition. The applicant is proposing 165 single-story for rent units on approximately 16 acres of land for an overall density of approximately 9.6 DU/Acre. The site is zoned Multi-Family/Low (MF/L) PAD.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Community Commercial	Community Commercial PAD	Dignity Health Urgent Care and undeveloped building pad
South	General Commercial	General Commercial PAD	Sam's Club and other retail establishments
East	Residential > 5-8 DU/Acre and Residential > 3.5-5 DU/Acre	Single Family – 7 (SF-7) and Single Family-Detached (SF-D)	Sunview Public Park and Sunview Estates Residential Community

West	Residential >14-25 DU/Acre and General Office	Single Family-6 (SF-6) PAD and General Office (GO)	Gilbert Road and then Gateway Court Residential Community and various professional offices.
Site	Residential 8-14 DU/Acre	Multi-Family/Low (MF/L) PAD	Undeveloped

Project Data Table

Site Development Regulations	Bungalows on Ash PAD
Maximum Building Height (ft.)/(Stories)	26'/One-story
Minimum Building Setback (ft.)	
Front	25'
Side (Non-residential)	20'
Rear (Residential)	25'
Separation Between Buildings (ft.)	10' *
Minimum Required Perimeter Landscape Area (ft.)	
Front	20'
Side (Non-residential)	15'
Rear (Residential)	20'
Common Open Space (Minimum)	43%
Private Open Space (sq.ft.)	196 sq.ft./unit

*** The development standards above shall govern, except that the building separation standard can be reduced by the building or fire code officials. Minor modifications to the configurations on the site plan shall be approved by the Planning Manager. All buildings shall comply with building codes and fire codes, which may result in a loss of units.**

DISCUSSION

Site Plan

The Bungalows on Ash is a proposed gated multi-family community intended to feel like single family living. The proposed 165-unit community would be composed of a mixture of single story “single-family” attached and detached units, garage structures, parking canopy structures, 1 clubhouse/leasing office building with various outdoor amenities, a community swimming pool, a dog park, one (1) tot lot and various other outdoor turf areas. The residential units are designed in a cluster configuration, with typically 4-8 units clustered around a common connected pedestrian courtyard.

Access to the development will take place via one entrance off Gilbert Rd. and include a landscape median and design features that will create a prominent sense of arrival. A secondary exit only

access will be provided out to Gilbert Rd. at the northwest corner of the development. The main entrance will lead to a farmhouse style clubhouse that will also contain a leasing office. Branching off the main entry and parking lot are gated access points that connect to a looped system of private drives and parking areas for the residents.

All proposed parking will take place off the looped drive and contain individual parking stalls, enclosed garages and parking canopies. The parking lot will also include trash enclosures located in various areas close to the residents. Based on parking ratios for multi-family developments, the following table is representative of the Bungalows on Ash parking plan:

Bungalows on Ash Parking Counts		
	Required	Provided
1 space per 1-bedroom unit (40 units)	40	40
2 spaces per 2 or more bedroom units (125 units)	250	250
Resident Parking Total	290 (124 covered) (42 enclosed)	290 (132 covered) (42 enclosed)
Additional 25% of the total unit count for guest parking	42	47
Total Parking	332	337

Landscape

The project was granted a reduction of 2% to the minimum common open space requirement, from 45% to 43% (approx. 13,000 sq.ft. reduction) in their PAD. In exchange, the minimum private open space per unit was increased by approximately 136 sq.ft. for an estimated total increase of 22,500 sq.ft. private open space. The applicant notes the increased private open space is the result of the larger-than-required backyards for each unit.

The Bungalows on Ash integrates public, semi-private, and private open space components into a cohesive open space plan, with active and passive amenities through a centralized greenbelt extending from the main entrance through the community and to the public park on the eastern boundary. Pedestrian walkways have been placed throughout the community to interconnect the apartment homes to the broader community, including a lighted perimeter walking path for the enjoyment of residents.

Grading and Drainage

Runoff as required by the Town will be routed to underground ground storage locations throughout the development. The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Floor Plan, Colors and Materials

The Bungalows on Ash provides three architectural styles for the homes that are distinct from one another, presenting an appropriate amount of variety for this hybrid between multi-family and single-family homes. The proposed home elevations are variations of the farmhouse theme shown at the central clubhouse building and incorporate building materials such as stucco, concrete roof tiles, wood fascia, hardie panel vertical siding, brick veneer, stone veneer and standing seam metal awnings. To create additional visual interest, the elevations also consist of shaker style shutters, board and batten shutters, wood fascia, stucco pop outs, varying wall planes, recessed openings and building forms such as gable roofing. The combination of fenestration, proportions of building elements, exterior veneers, and variations in the roof line will break-up the vertical and horizontal planes for an enhanced appeal. The color scheme for the units consist of shades of white, tan, grey and varying shades of blue.

The front elevations of the homes will be the most visible as they will front onto the shared pathways and courtyards. The side and rear elevations will be screened by the backyard enclosures and hidden from view by the solid walls and landscaping. Interior spaces will include design features such as ten-foot high ceilings, larger scale windows, patios that transition to outdoor spaces, and private walled backyards for each unit that are approx. 196 sf.

The garage buildings follow the same basic architectural theme as the residential units and feature six garage bays with roll-up doors. The body of the buildings contain stucco, brick columns, hardie panel vertical siding and concrete roof tiles.

Lighting

Lighting consists of parking lot light poles, attached building wall mounted sconces, parking canopy lighting, and bollard lighting to illuminate the perimeter walking path. All site lighting will be required to comply with Town codes.

Signage

An 8' tall monument sign is proposed at the main site entrance and will be designed to complement the materials and colors of the buildings and site walls; however, other signage is not included in this approval. Staff has reviewed the conceptual design and location of the proposed monument sign. No further approvals of the monument sign other than permitting are needed.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public for the Design Review. Staff did receive one comment from the public at the Town Council public hearing in opposition to the previous rezoning/land use change.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR19-143 The Bungalows on Ash: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for

approximately 15.91 acres, generally located north of the northeast corner of Gilbert Rd. and Houston Ave., and zoned Multi-Family/Low (MF/L) with a Planned Area Development, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the May 6, 2020 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Monument signage has been included in this approval and will require a sign permit prior to construction.

Respectfully submitted,

A handwritten signature in black ink that reads "Joshua Rogers". The signature is written in a cursive, flowing style.

Josh Rogers
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Colors and Materials
- 8) Elevations
- 9) Floor Plans
- 10) Lighting
- 11) Monument Signage

**FINDINGS OF FACT
DR19-143, Bungalows on Ash**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

DR19-143 Bungalows on Ash
Attachment 2 - NOPH

PLANNING COMMISSION DATE:

Wednesday, May 6, 2020* TIME: 6:00 PM

LOCATION: Due to the impacts of the COVID-19 pandemic, all public meetings will be conducted using measures to protect public health until further notice. As a result, attendance in person by members of the public will be prohibited. Instead, the public can participate remotely through technological means, as permitted under Arizona law. Please refer to the meeting agenda for more details.

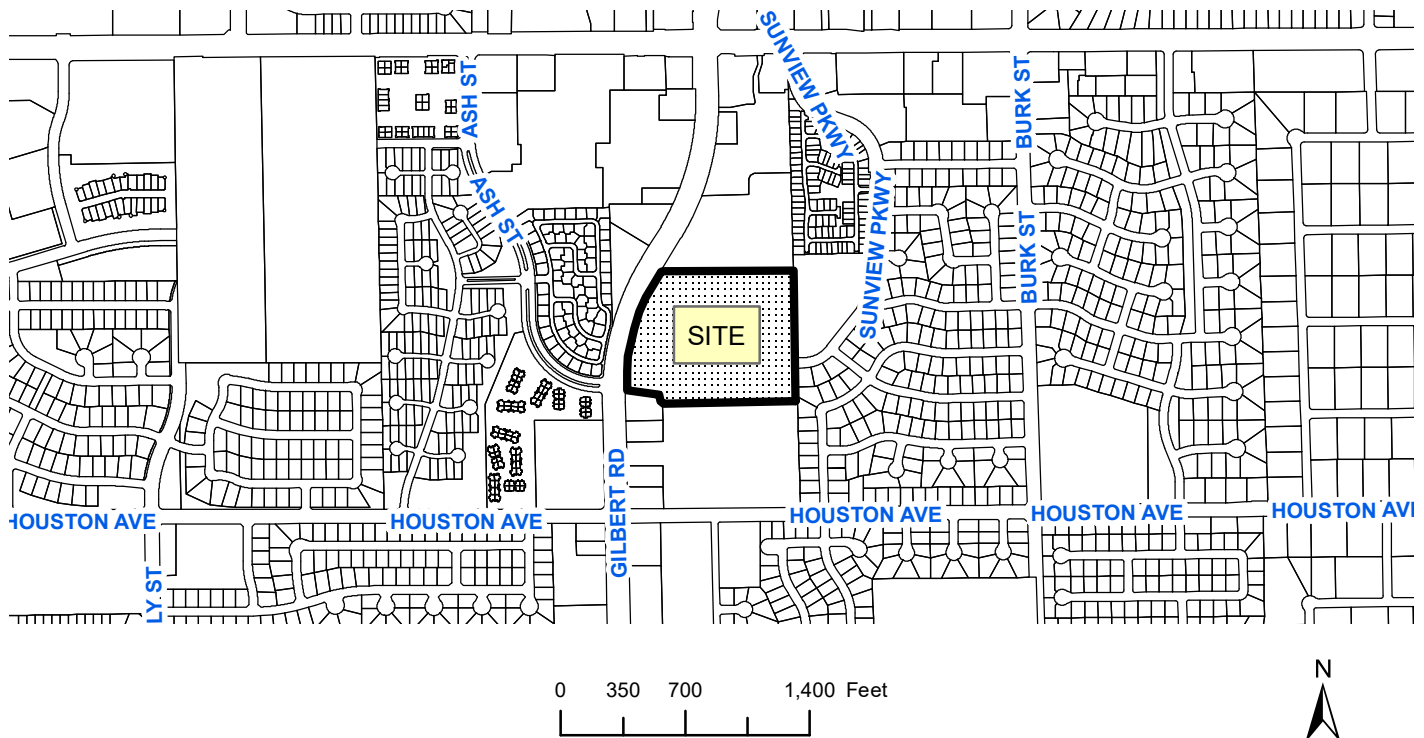
*Call Planning Division to verify date and time: (480) 503-6589

* The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission and www.gilbertdocs.com/gilbertagendaonline.

REQUESTED ACTION:

DR19-143 BUNGALOWS ON ASH: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 15.91 acres, generally located north of the northeast corner of Gilbert Rd. and Houston Ave., and zoned Multi-Family/Low (MF/L).

SITE LOCATION:



APPLICANT: Pew & Lake PLC
CONTACT: Sean Lake
ADDRESS: 1744 S. Val Vista Dr., Suite 217
Mesa, AZ 85204

TELEPHONE: (480) 461-4670
E-MAIL: sean.lake@pewandlake.com

Aerial Parcel Map
NEC Gilbert Rd. & Ash St.
APN 304-10-021Y



PRELIMINARY
NOT FOR
CONSTRUCTION



BUNGALOWS ON ASH
DESIGN REVIEW - PRELIMINARY SITE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632.2
DATE : APRIL 7, 2020
DRAWN: DM
REVIEWED: MR

REVISIONS

△	
△	
△	
△	
△	

COVER SHEET

SP.C

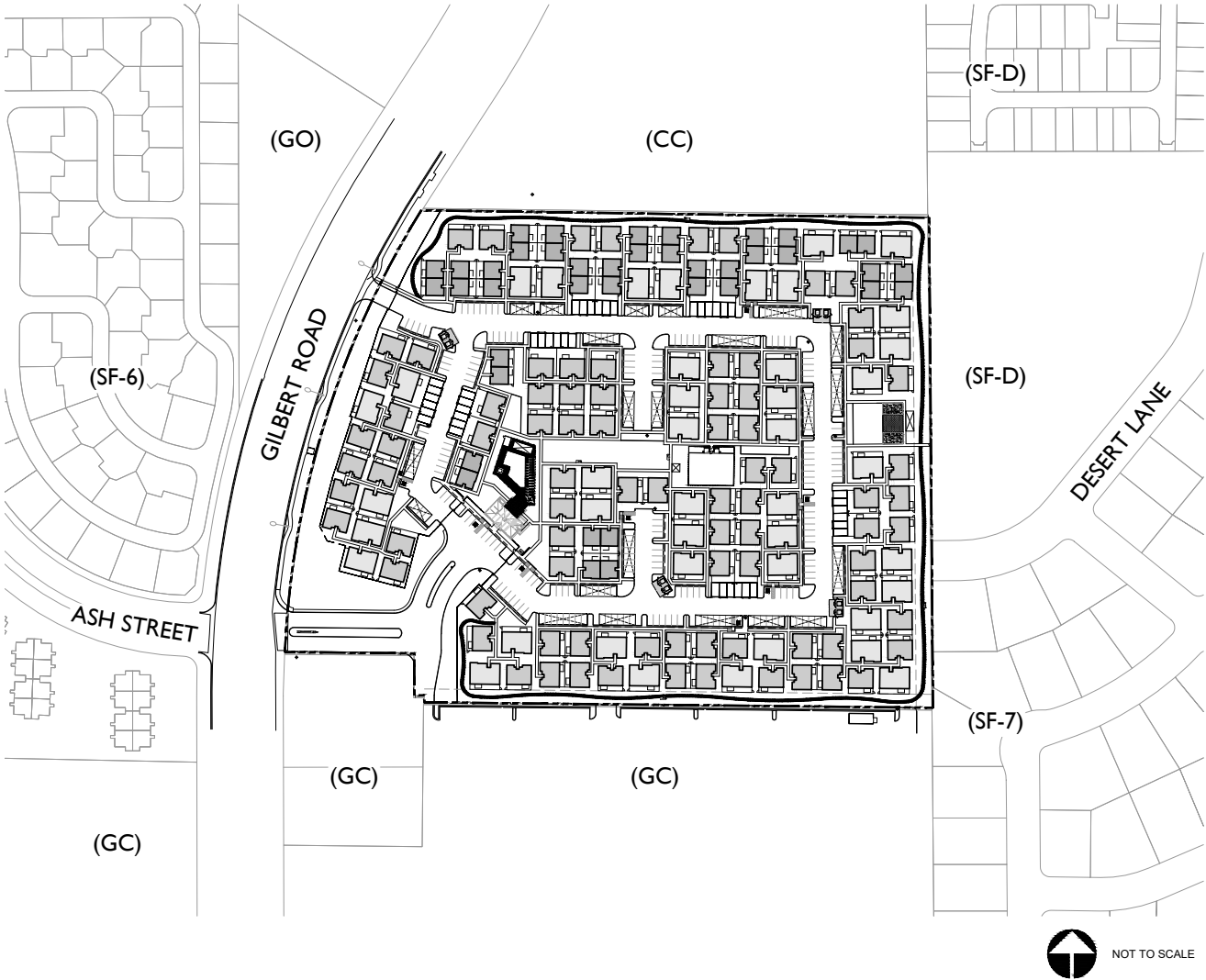
SHEET 1 OF 3

BUNGALOWS ON ASH

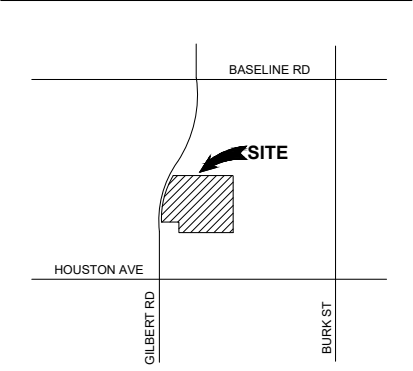
DESIGN REVIEW - PRELIMINARY SITE PLAN
GILBERT, ARIZONA
CAVAN COMPANIES

LEGAL DESCRIPTION

THAT PART OF THE SOUTH HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, ALSO KNOWN AS LOT 5, SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF SAID WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 6 FROM WHICH THE SOUTHWEST CORNER THEREOF BEARS NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST, 40.0 FEET;
THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID NORTHWEST QUARTER 639.01 FEET TO A POINT ON THE ARC OF A CIRCLE, THE CENTER OF WHICH BEARS EAST 1392.40 FEET;
THENCE NORTHEASTERLY ALONG THE ARC OF SAID CIRCLE, 759.96 FEET;
THENCE SOUTH 89 DEGREES 01 MINUTES 58 SECONDS EAST PARALLEL WITH THE NORTH LINE OF SAID NORTHWEST QUARTER, 787.52 FEET TO THE EAST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 6;
THENCE SOUTH 0 DEGREES 20 MINUTES 11 SECONDS EAST ALONG THE EAST LINE OF SAID WEST HALF OF THE NORTHWEST QUARTER, 1359.96 FEET TO THE SOUTHEAST CORNER THEREOF;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST ALONG THE SOUTH LINE OF SAID WEST HALF OF THE NORTHWEST QUARTER, 997.74 FEET TO THE TRUE POINT OF BEGINNING;
EXCEPT THE FOLLOWING PROPERTY:
THAT PART OF LOT 5, SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE SOUTH LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 6 FROM WHICH THE SOUTHWEST CORNER THEREOF BEARS NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST, 267.15 FEET;
THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS EAST, A DISTANCE OF 40.00 FEET TO THE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS EAST, A DISTANCE OF 242.50 FEET;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST PARALLEL WITH THE SOUTH LINE OF THE SAID NORTHWEST QUARTER, A DISTANCE OF 205.15 FEET;
THENCE NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST PARALLEL WITH THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 135.01 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST PARALLEL WITH THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 206.82 FEET;
THENCE NORTH 00 DEGREES 36 MINUTES 30 SECONDS EAST, A DISTANCE OF 212.50 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 759.69 FEET TO A POINT ON THE EAST LINE OF LOT 5;
THENCE SOUTH 00 DEGREES 25 MINUTES 20 SECONDS EAST ALONG THE EAST LINE OF LOT 5, A DISTANCE OF 590.10 FEET;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 770.30 FEET TO THE POINT OF BEGINNING; AND
EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF SAID SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 6, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF GILBERT ROAD AND HOUSTON AVENUE;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER AND ALONG THE CENTERLINE OF SAID HOUSTON AVENUE, A DISTANCE OF 65.01 FEET;
THENCE NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST PARALLEL TO AND 65.00 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 40.00 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST, A DISTANCE OF 122.98 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST, A DISTANCE OF 203.67 FEET;
THENCE SOUTH 00 DEGREES 36 MINUTES 30 SECONDS WEST, A DISTANCE OF 122.97 FEET TO A POINT LYING 40.00 FEET NORTH OF THE SOUTH LINE OF SAID NORTHWEST QUARTER;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST PARALLEL TO AND 40.00 FEET NORTH OF THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 202.14 FEET TO THE TRUE POINT OF BEGINNING; AND
EXCEPT THAT PORTION OF LOT 5, SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT ON THE WEST LINE OF THE WEST HALF OF THE NORTHWEST QUARTER OF SAID SECTION 6, FROM WHICH THE SOUTHWEST CORNER THEREOF BEARS SOUTH 00 DEGREES 06 MINUTES 06 SECONDS EAST, 417.53 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST, PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 65.00 FEET TO THE TRUE POINT OF BEGINNING;
THENCE NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST PARALLEL TO THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 222.74 FEET TO THE POINT OF TANGENCY OF A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1367.70 FEET;
THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 02 DEGREES 37 MINUTES 35 SECONDS, A DISTANCE OF 62.69 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 193.14 FEET;
THENCE SOUTH 00 DEGREES 06 MINUTES 06 SECONDS EAST PARALLEL TO THE WEST LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 62.69 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 15.00 FEET;
THENCE SOUTH 00 DEGREES 36 MINUTES 30 SECONDS WEST, A DISTANCE OF 222.73 FEET;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST PARALLEL TO THE SOUTH LINE OF SAID NORTHWEST QUARTER, A DISTANCE OF 206.82 FEET TO THE POINT OF BEGINNING; AND
EXCEPT THAT PORTION OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE WEST QUARTER CORNER OF SAID SECTION 6, SAID POINT ALSO BEING THE CENTERLINE INTERSECTION OF GILBERT ROAD AND HOUSTON AVENUE;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER AND ALONG THE CENTERLINE OF SAID HOUSTON AVENUE, A DISTANCE OF 65.01 FEET;
THENCE NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST PARALLEL TO AND 65.00 FEET EAST OF THE WEST LINE OF SAID NORTHWEST QUARTER A DISTANCE OF 162.98 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING NORTH 00 DEGREES 06 MINUTES 06 SECONDS WEST, A DISTANCE OF 119.54 FEET;
THENCE SOUTH 89 DEGREES 23 MINUTES 30 SECONDS EAST PARALLEL TO THE SOUTH LINE OF SAID SECTION 6, A DISTANCE OF 205.15 FEET;
THENCE SOUTH 00 DEGREES 36 MINUTES 30 SECONDS WEST, A DISTANCE OF 119.53 FEET;
THENCE NORTH 89 DEGREES 23 MINUTES 30 SECONDS WEST, A DISTANCE OF 203.67 FEET TO THE TRUE POINT OF BEGINNING;
AND
EXCEPT THE WEST 25.0 FEET AS SET FORTH IN WARRANTY DEED RECORDED IN 84-091493, OF OFFICIAL RECORDS AND IN 85-120682, OF OFFICIAL RECORDS.



VICINITY MAP



PRELIMINARY SITE ADDRESS:
1381 N. GILBERT ROAD

SITE PLAN DATA

GROSS AC.	15.91 AC. OR 693,254 S.F.
NET AC.	14.85 AC. OR 646,794 S.F.
APN#:	304-10-021Y
EXISTING ZONING:	GC
PROPOSED ZONING:	MF/L
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL
TOTAL # OF UNITS:	1 BEDROOM UNITS: 40 (24%) 2 BEDROOM UNITS: 83 (50%) 3 BEDROOM UNITS: 42 (26%) TOTAL UNITS: 165
DENSITY (GROSS):	10.37 DU/AC
PROPOSED BUILDING HEIGHT:	SINGLE STORY
COMMON OPEN SPACE REQUIRED:	43% OF NET
PRIVATE OPEN SPACE REQUIRED:	196 SQ. FT. PER UNIT
OPEN SPACE PROVIDED:	43.5% OF NET (COMMON OS) 281,508 SQ. FT. OR 43.5% (COMMON OS) 53,462 SQ. FT. OR 5.5% (PRIVATE OS)
LOT COVERAGE PROVIDED:	27.8 % (NET) 1 BED- 40 UNITS x 676 SQ. FT. = 27,040 SQ. FT. 2 BED- 83 UNITS x 1,012 SQ. FT. = 83,996 SQ. FT. 3 BED- 42 UNITS x 1,355 SQ. FT. = 56,910 SQ. FT. GARAGE- 7 UNITS x 1,530 SQ. FT.= 10,710 SQ. FT. OFFICE BUNGALOW = 1,350 SQ. FT. TOTAL BUILDING AREA: 180,006 SQ. FT. (180,006/ NET SITE AREA= 27.8% LOT COVERAGE)
REQUIRED PARKING:	1 BED UNIT (1 SPACE PER UNIT) 40 2 BED UNIT (2 SPACES PER UNIT) 166 3 BED UNIT (2 SPACES PER UNIT) 84 GUESTS (0.25 SPACES PER UNIT) 42 COVERED (1 SPACE PER UNIT) ENCLOSED (25% OF COVERED) TOTAL REQUIRED PARKING 332
PROPOSED PARKING:	337 SPACES TOTAL INCL. 8 ACCESSIBLE SPACES INCL. 42 GARAGE SPACES INCL. 132 CANOPY SPACES

PROJECT TEAM

DISCIPLINE	CONTACT INFORMATION
OWNER	ADVANCED ACQUISITIONS, LLC DAVE CAVAN 15300 N. 90TH STREET, SUITE 200 SCOTTSDALE, ARIZONA 85260 480.627.7000
LANDSCAPE ARCHITECT	RVI PLANNING + LANDSCAPE ARCHITECTURE MARK REDDIE 120 S. ASH AVENUE TEMPE, ARIZONA 85281 480.994.0994
CIVIL ENGINEER	HILGART WILSON, LLC GEORGE KRALL 2141 E. HIGHLAND AVENUE, SUITE 250 PHOENIX, ARIZONA 85016 602.490.0535
ARCHITECT	MOORADIAN & ASSOCIATES 4578 N. FIRST AVENUE, SUITE 140 TUCSON, ARIZONA 85718 520-408-8117

SHEET INDEX

NUMBER	DESCRIPTION
SP.C SP.01 SP.D	COVER SHEET ENLARGED SITE PLAN DETAILS

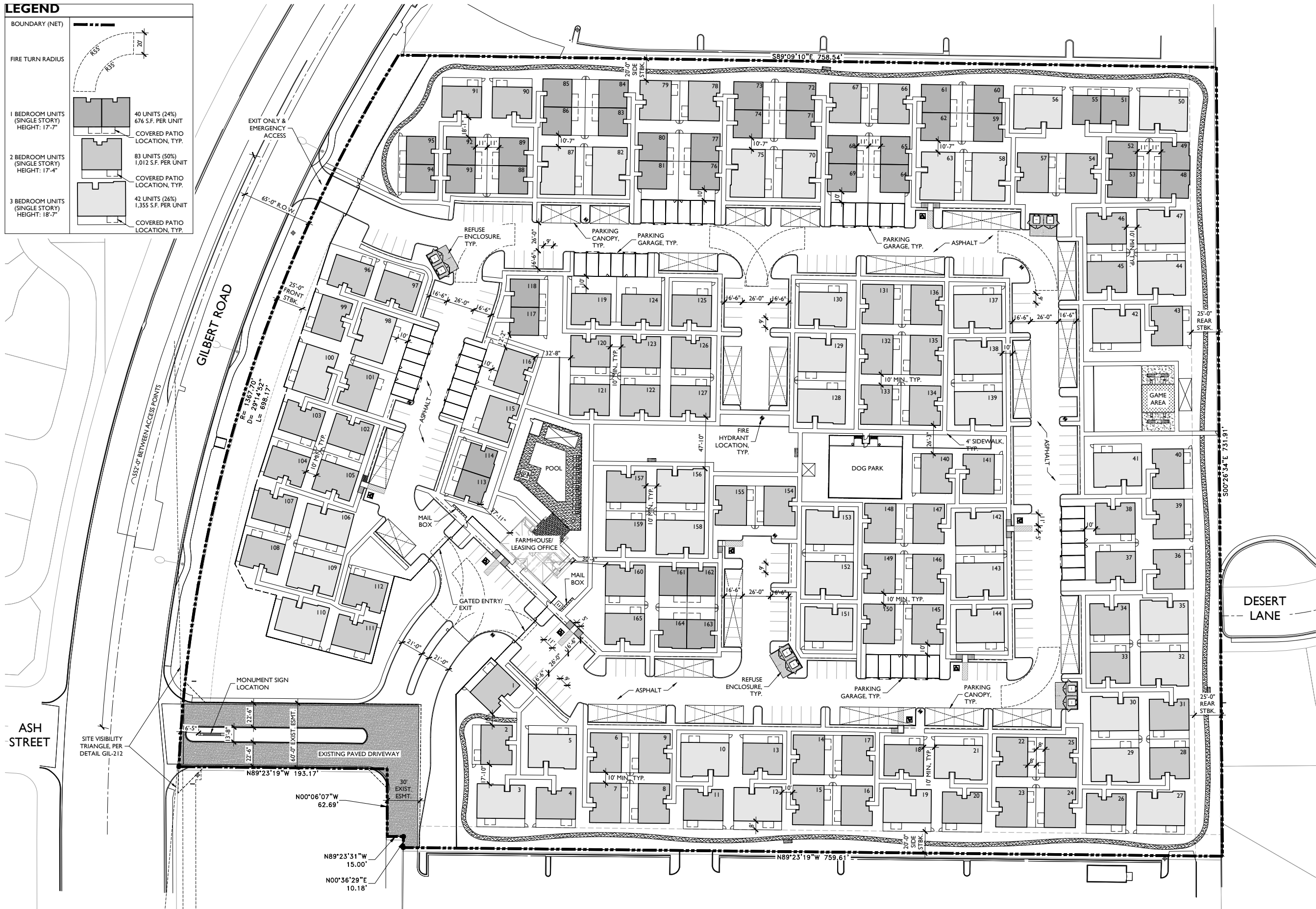
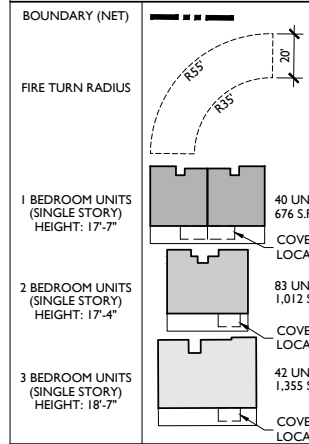
DEVELOPMENT STANDARDS

SETBACKS	
FRONT:	25'
SIDE (STREET):	25'
SIDE (RES.):	25'
SIDE (NON-RES.):	20'
REAR (RES.):	25'
REAR (NON-RES.):	20'

SEPARATION BETWEEN BUILDINGS

PER BUNGALOW PAD	10'
------------------	-----

LEGEND



PRELIMINARY
NOT FOR
CONSTRUCTION



BUNGALOWS ON ASH

DESIGN REVIEW - PRELIMINARY SITE PLAN

GILBERT, ARIZONA

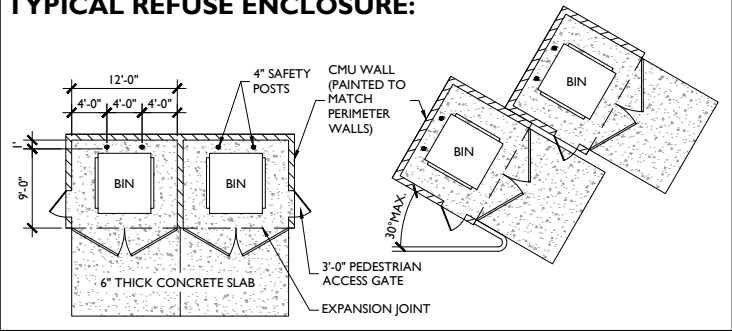
PROJECT NO.: 19001632.2
DATE: APRIL 7, 2020
DRAWN: DM
REVIEWED: MR

REVISIONS
1
2
3
4
5

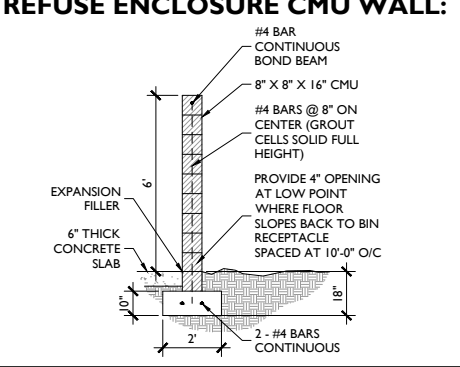
ENLARGED
SITE PLAN

SP.01

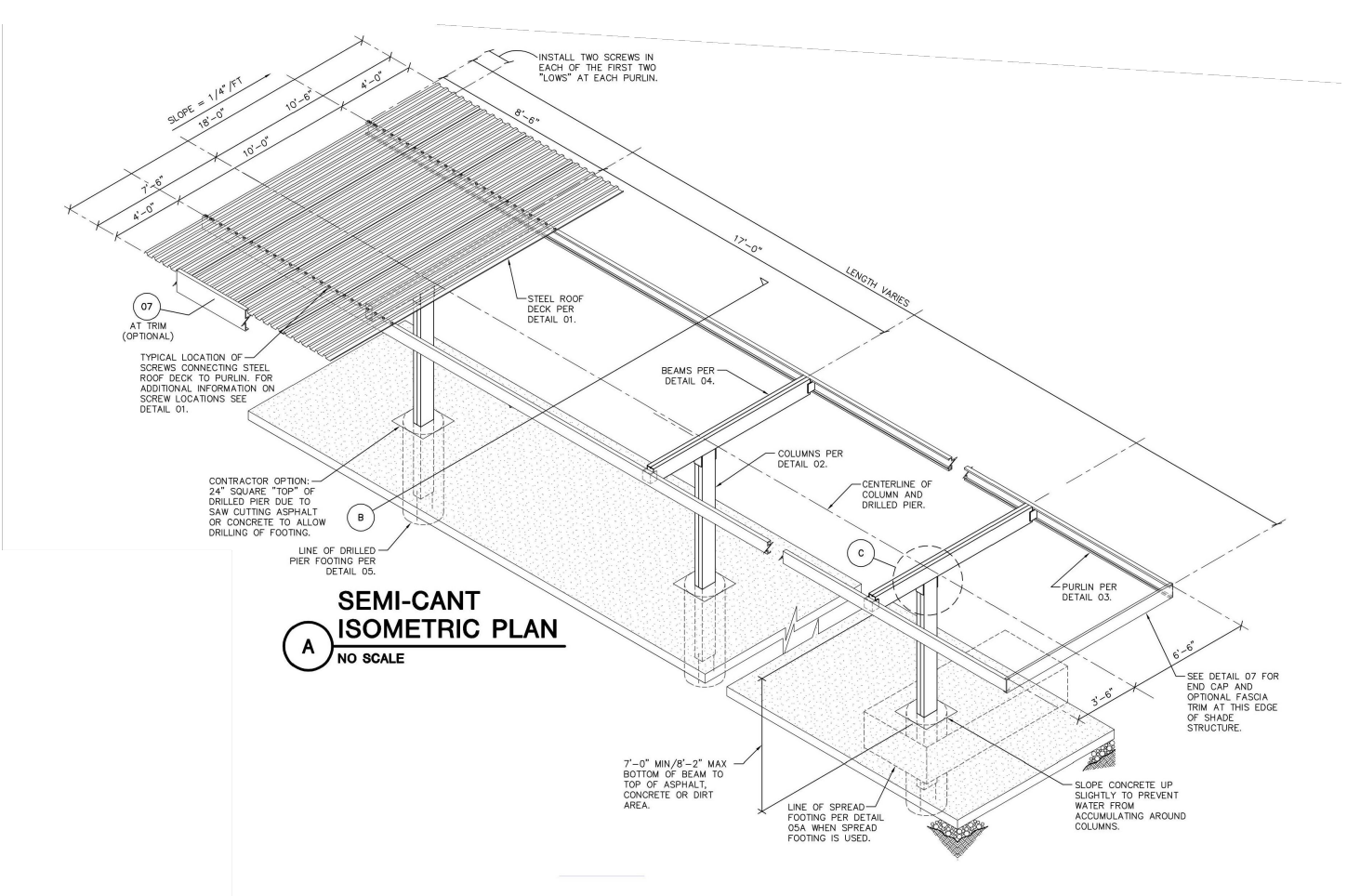
TYPICAL REFUSE ENCLOSURE:



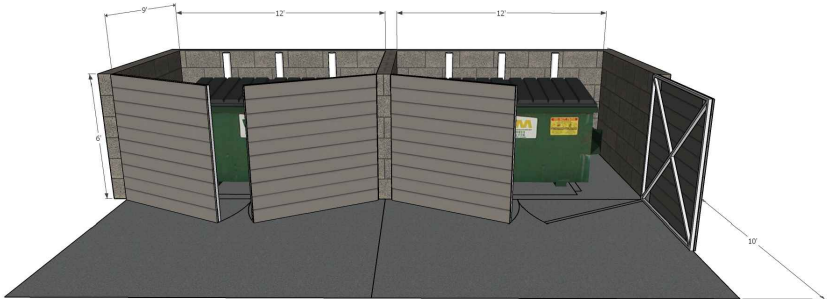
REFUSE ENCLOSURE CMU WALL:



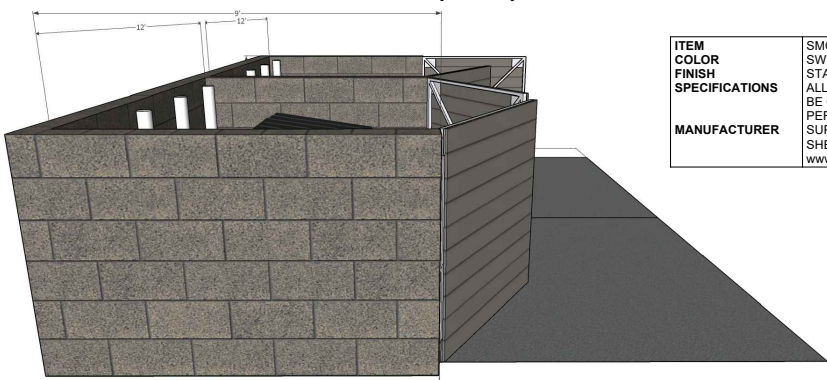
TYPICAL SHADE STRUCTURE/PARKING CANOPY DETAIL:



REFUSE ENCLOSURE ELEVATION (FRONT):



REFUSE ENCLOSURE ELEVATION (LEFT):

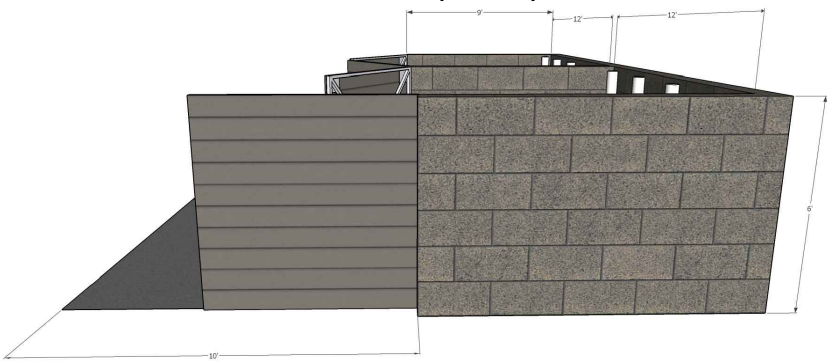


ITEM	SMOOTH FACE BLOCK
COLOR	SW7019 'GAUNTLET GREY'
FINISH	STANDARD GREY BLOCK / SATIN FINISH PAINT
SPECIFICATIONS	ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S.
MANUFACTURER	SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)

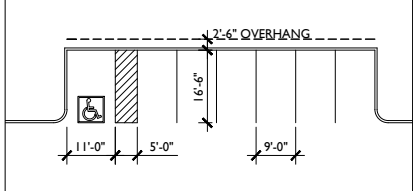
REFUSE ENCLOSURE ELEVATION (REAR):



REFUSE ENCLOSURE ELEVATION (RIGHT):



TYPICAL PARKING STALL DETAIL:



Rvi

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

PRELIMINARY
NOT FOR
CONSTRUCTION



BUNGALOWS ON ASH
DESIGN REVIEW - PRELIMINARY SITE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632.2
DATE : APRIL 7, 2020
DRAWN : DM
REVIEWED : MR

REVISIONS
1
2
3
4
5
6
7

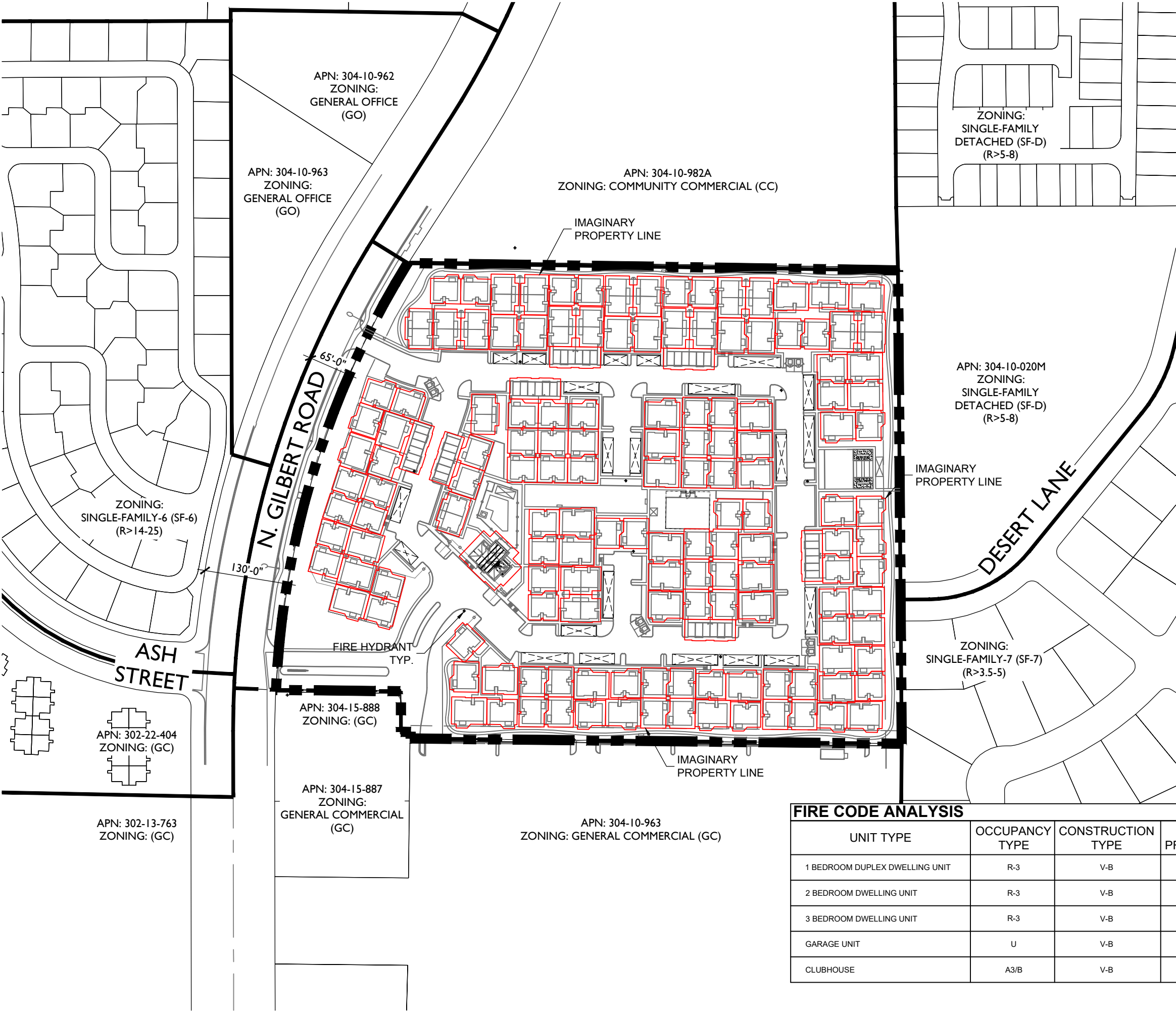
DETAILS

SP.D

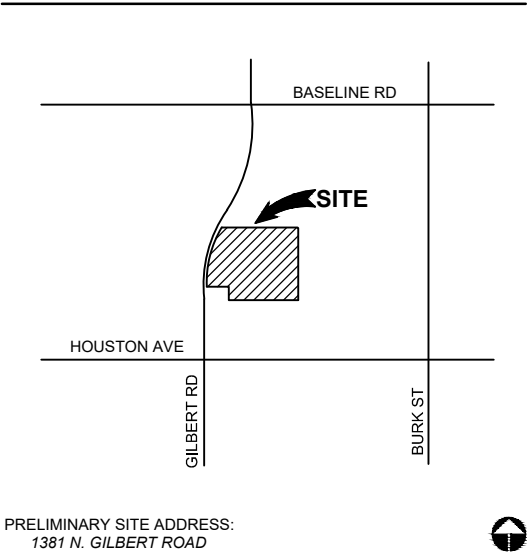
SHEET 3 OF 3

L:\19001632-GILBERT & ASH-PLANNING\1-CADD\7-SITE PLAN\1632-PRELIMINARY SITE PLAN_4TH REVIEW.dwg 4/8/2020 dm dm maw dms

PDR-2019-00143 (4TH REVIEW)



VICINITY MAP



SITE PLAN DATA

GROSS AC.	15.91 AC. OR 693,254 S.F.
NET AC.	14.85 AC. OR 646,794 S.F.
APN#:	304-10-021Y
TOTAL # OF UNITS:	165
DENSITY (GROSS):	10.36 DU/AC
EXISTING ZONING/ LAND USE:	GENERAL COMMERCIAL (GC)
PROPOSED ZONING:	MULTI-FAMILY/LOW DENSITY (MF/L)
PROPOSED LAND USE:	RESIDENTIAL > 8-14 DU/ACRE

FIRE CODE ANALYSIS

UNIT TYPE	OCCUPANCY TYPE	CONSTRUCTION TYPE	IMAGINARY PROPERTY LINE	SPRINKLERS
1 BEDROOM DUPLEX DWELLING UNIT	R-3	V-B	5'	DUPLEX SPRINKLERED WITH 13D SYSTEM
2 BEDROOM DWELLING UNIT	R-3	V-B	5'	NON SPRINKLERED
3 BEDROOM DWELLING UNIT	R-3	V-B	5'	NON SPRINKLERED
GARAGE UNIT	U	V-B	5'	SPRINKLERED (13D OR 13R?)
CLUBHOUSE	A3/B	V-B	10'	FULLY SPRINKLERED



L:\19001632 GILBERT & ASH\64 LANDSCAPE\2020 SHEETS\CONCEPTUAL L2 PLAN\1632.DWG L2.07 RENDERED PLANTING PLAN.dwg 4/7/2020 itm lakowsky

Rvi

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20

LANDSCAPE
PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 at least two full
working days before you begin excavation
ARIZONA
Call 811 or click Arizona811.com

THE BUNGALOWS ON ASH

CONCEPTUAL LANDSCAPE PLAN

GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
△	
△	
△	
△	

RENDERED
PLANTING PLAN

L2.07

SHEET 10 OF 13

4TH SUBMITTAL

L19001632 GILBERT & ASH/L6/LANDSCAPE/2 DD/3 SHEETS/CONCEPTUAL L1 PLAN/1632 DDL1.00 WALL PLAN.dwg 4/6/2020 tm balunsky



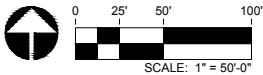
LEGEND

- 8' THEME WALL
- 8' PARTIAL VIEW WALL
- 8' FULL VIEW FENCE
- 8' BUILDER WALL - PERIMETER
- 6' INTERNAL BUILDER WALL - UNIT SEPARATION
- ENTRY MONUMENT

ALL WALL LOCATIONS AND ALIGNMENTS ARE SCHEMATIC. WALLS SHALL NOT BE INSTALLED IN RIGHT-OF-WAYS, UTILITY EASEMENTS, OR SIGHT VISIBILITY TRIANGLES. CONTRACTOR TO STAKE WALL CORNERS AND TURN POINTS AND GET CLIENT AND/OR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION.

WALL NOTES

- THESE NOTES ARE GENERAL AND MAY BE SUPERSEDED BY EITHER THE SPECIFICATIONS OR LOCAL TRADE PRACTICES.
- FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR COMPACTED FILL.
- THE EXPOSED UPPERMOST SOIL TO RECEIVE FILL SHALL BE SCARIFIED 6" DEEP, MOISTURE CONDITIONED TO $\pm 3\%$ OF OPTIMUM DENSITY CURVE FOR EACH TYPE OF SOIL ENCOUNTERED AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D-2922 OR D-3017.
- FILL MATERIAL SHALL BE PREDOMINANTLY GRANULAR, NON-EXPANSIVE, CLEAN OF ALL ORGANIC OR DETRITUS SUBSTANCES, AND HAVE A PLASTICITY INDEX LESS THAN SEVEN (7). BACKFILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY IN HORIZONTAL 8" LIFTS.
- EXCAVATIONS FOR FOUNDATIONS SHALL BE NEAT TO LINES OF FOOTINGS. ALL LOOSE MATERIAL SHALL BE REMOVED FROM SURFACE TO RECEIVE CONCRETE.
- ALLOWABLE SOIL BEARING PRESSURES AT FOOTING ON COMPACTED SOIL: 1500 PSI.
- CONCRETE MIX DESIGN FOR FOOTINGS SHALL BE MAG CLASS 'B' (2500 PSI), UNLESS OTHERWISE NOTED ON DRAWINGS.
- NO PIPES OR DUCTS SHALL BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED.
- CONCRETE FOOTINGS SHALL BE CONTINUOUS POUR TO GREATEST EXTENT PRACTICAL. STEP FOOTINGS IN EVEN BLOCK INCREMENTS.
- WALL CONTRACTOR TO BE RESPONSIBLE FOR STRUCTURAL CALCULATIONS OF THE WALLS.
- SUBMIT TEST REPORTS FOR CONCRETE MIX DESIGNS TO LANDSCAPE ARCHITECT FOR REVIEW.
- WATERPROOF AND GROUT SOLID RETAINING WALLS TO HIGH GRADE, IF APPLICABLE.
- ALL IRON/STEEL WORK TO BE OF HIGHEST QUALITY WITH WELDS GROUND SMOOTH. ALL IRON WORK, EXCEPT WHERE NOTED, TO BE PRIMED AND PAINTED. PAINT COLOR TO BE SELECTED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- VERIFY HEIGHTS AND SLOPES AND TURNDOWNS BEFORE POURING FOOTINGS.
- NEW WALL FINISHES SHALL MATCH EXISTING SURFACES, UNLESS OTHERWISE NOTED ON DRAWINGS.
- GROUT SOLID ALL CMU CELLS AND VOIDS BELOW GRADE AND/OR CONTAINING REBAR.



Rvi
120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20
**PRELIMINARY
NOT FOR
CONSTRUCTION**

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
1	
2	
3	
4	

WALL PLAN

L1.00

SHEET 2 OF 13

4TH SUBMITTAL

1. VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY, THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS HAVE PRIORITY OVER QUANTITIES LISTED WITHIN THE LANDSCAPE MATERIAL SCHEDULE. THE CONTRACTOR SHALL FURNISH ALL PLANT MATERIAL NECESSARY TO COMPLETE THE PLANTINGS AS SHOWN ON THE PLANS.
2. CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY.
3. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY PLANT MATERIAL SUBSTITUTIONS.
4. ALL PLANT MATERIAL MUST BE MAINTAINED IN HEALTH AND VIGOR, AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH ARIZONA NURSERY ASSOCIATION SPECIFICATIONS.
5. ALL PLANT MATERIAL MAY BE INSPECTED PRIOR TO ACCEPTANCE. THE LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL DEEMED UNACCEPTABLE, EVEN AFTER DELIVERY TO SITE.
6. PLANT TREES AND SHRUBS PLUMB AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS, STRUCTURES, AND VIEWS. IF ANY SOIL NUTRIENT DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL.
7. PLANTING METHODS, SOIL AMENDMENT QUANTITIES (IF ANY), AND PREPARATION METHODS SHALL BE INSTALLED ACCORDING TO THE PLANTING SPECIFICATIONS AND DETAILS.
8. ALL PLANTING AREAS SHALL RECEIVE WEED CONTROL/PRE-EMERGENT PER THE GUIDELINES SET FORTH WITHIN THE SPECIFICATIONS AND DETAILS. REEPLY AS NECESSARY TO COMPLETELY KILL NOXIOUS MATERIAL. REMOVE ALL DEAD AND/OR DYING DEBRIS PRIOR TO FINAL ACCEPTANCE.
9. ALL TREES LOCATED WITHIN SIGHT DISTANCE AREAS MUST BE TRIMMED TO 6'-0" CLEARANCE ABOVE FINISHED GRADE.
10. UNLESS OTHERWISE NOTED ON PLANS, ROCK/BARK MULCH SHALL EXTEND UNDER ALL PLANTINGS AND BE RAKED UNIFORMLY ALONG CONCRETE FLATWORK, CURBS AND ETC.
11. THE FINISH GRADE OF LANDSCAPE AREAS RECEIVING ROCK/BARK MULCH MUST BE GRADED 2-1/2" BELOW CONCRETE OR OTHER ADJACENT PAVED SURFACES PRIOR TO INSTALLATION OF THE MULCH. FINISH GRADE OF LANDSCAPE AREAS RECEIVING TURF MUST BE GRADED 1-1/2" BELOW CONCRETE OR OTHER PAVED SURFACES PRIOR TO INSTALLATION OF TURF.
12. BOULDER, IF USED, TO BE SURFACE SELECT GRANITE WITH A MINIMUM OF SHARP EDGES AND/OR CRACKING. ANY EXPOSED SURFACE SCARRING THAT MAY HAVE OCCURRED DURING TRANSPORTING OR CONSTRUCTION IS TO BE BONITED WITH NO ADDITIONAL COST TO THE OWNER.
13. STAKE ALL NURSERY GROWN TREE STOCK A MINIMUM OF 12" OUT FROM EDGE OF PLANTING WELL. THE EDGE OF ALL TREE PLANTING WELLS SHALL BE A MINIMUM OF 2 FEET AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 12 FEET AWAY FROM ALL BUILDING FOUNDATIONS. THE EDGE OF ALL SHRUB PLANTING WELLS SHALL BE A MINIMUM OF 18" AWAY FROM ALL CURB AND SIDEWALKS AND A MINIMUM OF 3 FEET AWAY FROM ALL BUILDING FOUNDATIONS.
14. LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO EACH APPLICATION OF PRE-EMERGENT FOR VERIFICATION. CONTRACTOR SHALL PROVIDE OWNER WITH PROOF OF PRE-EMERGENT APPLICATION NO MORE THAN 7 DAYS AFTER EACH APPLICATION WITHOUT EXCEPTION.
15. ALL TREES WITHIN TURF AREAS SHALL BE INSTALLED WITH TEMPORARY PVC ARBOR GUARDS.
16. ALL TURF AREAS SHALL BE GRADED SMOOTH AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING SOD OR SEED. ALL AREAS TO RECEIVE TURF SHALL BE COMPLETELY FREE OF ANY RUTS, TRENCH SETTLING, OR ANY MATERIAL OVER 1/2" IN DIAMETER PRIOR TO SOD OR SEED INSTALLATION.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO OBTAIN ANY REQUIRED PERMITS FOR ALL ON-SITE AND OFF-SITE IMPROVEMENTS OUTLINED WITHIN THIS SET OF PLANS AND/OR ANY OTHER ADDITIONAL WORK THEY MAY PERFORM IN THE INTEREST OF THIS PROJECT.
18. ROCK/BARK MULCH SHALL BE AS SPECIFIED IN THE LANDSCAPE MATERIAL SCHEDULE. ALL PLANTING AREAS, UNLESS OTHERWISE NOTED ON THE PLANS, SHALL RECEIVE A UNIFORM APPLICATION OF THE SPECIFIED MATERIAL. CONTRACTOR SHALL SUBMIT A SAMPLE TO THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO SCHEDULING MASS DELIVERY. OWNER MAY REQUEST THAT AN INITIAL LOAD OF MATERIAL BE DELIVERED TO THE SITE AND BE SPREAD BY THE LANDSCAPE CONTRACTOR FOR THE OWNER'S APPROVAL PRIOR TO MATERIAL APPLICATION ON THE REMAINDER OF THE SITE.
19. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE WITH THE OWNER THE FINAL LAYOUT OF ALL HARDSCAPE ITEMS FOR THIS PROJECT. OWNER MAY REQUEST ALL HARDSCAPE ITEMS (HEADERS, SIDEWALKS, FLATWORK, ETC.) BE STAKED AND/OR CHALKED OUT FOR THEIR APPROVAL PRIOR TO INITIAL POUR.
20. LANDSCAPE CONTRACTOR SHALL PRUNE ALL TREES AFTER INSTALLATION SO THAT NO BRANCH IS TOUCHING FINAL GRADE AND TRIM CANOPIES/BRANCHING TO A CLEAN AND NEAT APPEARANCE. ALL DEAD AND/OR DYING MATERIAL SHALL BE PRUNED FROM THE TREE PRIOR TO FINAL ACCEPTANCE.
21. WATER TEST ALL TREE PLANTING WELLS PRIOR TO PLANTING. IF TREE WELLS DO NOT PROPERLY DRAIN, REFER TO THE HARDPLAN PLANTING DETAIL FOR ADDITIONAL INFORMATION.
22. REFER TO GENERAL CONSTRUCTION NOTES ON THE COVER SHEET FOR ADDITIONAL INFORMATION THAT RELATES TO THE SCOPE OF WORK IN THIS SECTION. ALSO REFER TO ANY WRITTEN SPECIFICATION, SHOULD THEY ACCOMPANY THESE DRAWINGS, FOR ADDITIONAL REQUIREMENTS NOT COVERED WITHIN THESE PLANS.

1. MAINTAIN ALL AREAS INCLUDED IN THE CONTRACT ON A WEEKLY BASIS DURING THE PROGRESS OF WORK, A 90 DAY MAINTENANCE PERIOD, AND UNTIL THE FINAL ACCEPTANCE OF WORK IS RECEIVED IN WRITING.
2. UPON ACCEPTANCE AFTER THE 90 DAY MAINTENANCE PERIOD, THE CONTRACTOR SHALL FURNISH A WRITTEN WARRANTY ON ALL PLANT MATERIAL AGREEING TO GUARANTEE THE CONTINUED GROWTH OF ACTIVE PLANT MATERIAL FOR THE SPECIFIED GUARANTEE PERIODS. ALL GUARANTEE PERIODS COMMENCE FROM THE TIME OF FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
3. THE CONTRACTOR SHALL WATER AND MAINTAIN ALL LANDSCAPE MATERIAL DURING THE MAINTENANCE PERIOD. THE OWNER WILL WATER AND MAINTAIN THE LANDSCAPE MATERIAL DURING THE WARRANTY PERIOD. THE CONTRACTOR SHALL INSPECT THE LANDSCAPE MATERIALS PERIODICALLY DURING THE WARRANTY PERIOD AND SHALL NOTIFY THE OWNER IN WRITING, IF, IN THE CONTRACTOR'S OPINION, THE LANDSCAPE MATERIALS ARE NOT RECEIVING PROPER CARE.
4. ALL TREES, PALMS, CACTI, ACCENTS, AND TURF SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE (1) YEAR AND ALL SHRUBS, GROUNDCOVERS, AND OTHER NON SPECIFIED PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF 90 DAYS FROM THE DATE OF FINAL ACCEPTANCE. THE GUARANTEE SHALL BE AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
5. ANY PLANT MATERIALS WHICH ARE NOT APPROVED PRIOR TO OCTOBER 1 OF THE CALENDAR YEAR IN WHICH THEY ARE INSTALLED, SHALL BE FURTHER GUARANTEED UNTIL MAY 15 OF THE FOLLOWING CALENDAR YEAR.
6. ALL PLANT MATERIALS MUST BE MAINTAINED IN HEALTH AND VIGOR AND BE ALLOWED TO ATTAIN NATURAL SIZE AND SHAPE IN ACCORDANCE WITH THE ORIGINALLY APPROVED LANDSCAPE PLAN.
7. REFER TO BOOK SPECIFICATIONS, IF INCLUDED IN THIS DOCUMENT SET, FOR ADDITIONAL INFORMATION ON THE SPECIFICS OF THE ANTICIPATED WARRANTY.
8. LANDSCAPE CONTRACTOR SHALL PREPARE AND SUBMIT TO THE OWNER TYPEWRITTEN MAINTENANCE GUIDELINES AT FINAL WALK-THRU AND PRIOR TO FINAL ACCEPTANCE OF WORK.
9. IF TURF IS USED ON THIS PROJECT THE LANDSCAPE CONTRACTOR SHALL RESEED OR SOD IN ALL AREAS WHICH HAVE DEVELOPED BARE SPOTS HALFWAY THROUGH THE MAINTENANCE PERIOD. AREAS WHICH CANNOT BE RESEED FOR SUMMER GROWTH DUE TO CONTRACTOR'S INABILITY TO RESEED DURING PROPER GROWING SEASON SHALL BE OVERSEED OR SODDED WITH GRASS APPROPRIATE FOR THE CURRENT SEASON, CARED FOR THROUGHOUT THE OFF SEASON, AND PROPERLY SEED AT THE NEXT APPROPRIATE GROWING SEASON. THESE ARRANGEMENTS MUST BE MADE WITH THE OWNER PRIOR TO CONDITIONAL ACCEPTANCE OF THE WORK AND MAY REQUIRE A MONETARY HOLD-BACK.
10. COST FOR REPLACEMENTS DURING THE WARRANTY PERIOD IS ASSUMED PART OF THE BID QUOTATIONS AND THEREFORE WILL NOT RESULT IN ANY ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.

1. BEFORE WORK BEGINS ON THE PROJECT, THE LANDSCAPE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION CONFERENCE WITH OWNER AND/OR THE GENERAL CONTRACTOR TO REVIEW THE PROJECT. THE OWNER AND/OR OWNER'S AUTHORIZED REPRESENTATIVE IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
2. ALL DEMOLITION AREAS SHALL BE FLAGGED FOR APPROVAL PRIOR TO DEMOLITION.
3. ALL EXISTING PLANT MATERIAL SHALL REMAIN UNLESS OTHERWISE NOTED. SHOULD ANY CONFLICTS ARISE BETWEEN THE EXISTING PLANT MATERIAL ON-SITE AND PROPOSED IMPROVEMENTS SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

SHADE TREES			
ITEM	SIZE	QTY.	COMMENTS
<i>Fraxinus greggii</i> LITTLE LEAF ASH	24" BOX	5	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	24" BOX	10	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	24" BOX	27	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	24" BOX	16	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	24" BOX	13	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	24" BOX	62	
ACCENT/ORNAMENTAL TREES			
ITEM	SIZE	QTY.	COMMENTS
<i>Acacia aneura</i> MULGA	24" BOX	17	
<i>Acacia salicina</i> WILLOW ACACIA	24" BOX	62	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	24" BOX	83	
<i>Caesalpinia cacalaco</i> 'Smoothie' TM CASCALOTE	24" BOX	4	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	24" BOX	38	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	24" BOX	10	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	24" BOX	6	
<i>Cordia boissieri</i> TEXAS OLIVE	24" BOX	12	
<i>Pistacia lentiscus</i> MASTIC TREE	24" BOX	41	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	24" BOX	6	
<i>Vitex agnus-castus</i> CHASTE TREE	24" BOX	9	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	16' B.T.H.	32	

SITE PLAN DATA

GROSS AC.	15.91 AC. OR 693,254 S.F.
NET AC.	14.85 AC. OR 646,794 S.F.
LANDSCAPE AREA:	
R.O.W. (OFF-SITE)	8,326 S.F. (1% OF NET AREA)
ON-SITE (COMMON AREA)	209,500 S.F. (32% OF NET AREA)

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

EXPIRES 03/31/20

Contact Arizona 811 at least two full working days before you begin excavation.



Call 811 or click Arizona811.com

THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN: TB,RT
REVIEWED: MR

REVISIONS

1	
2	
3	
4	
5	

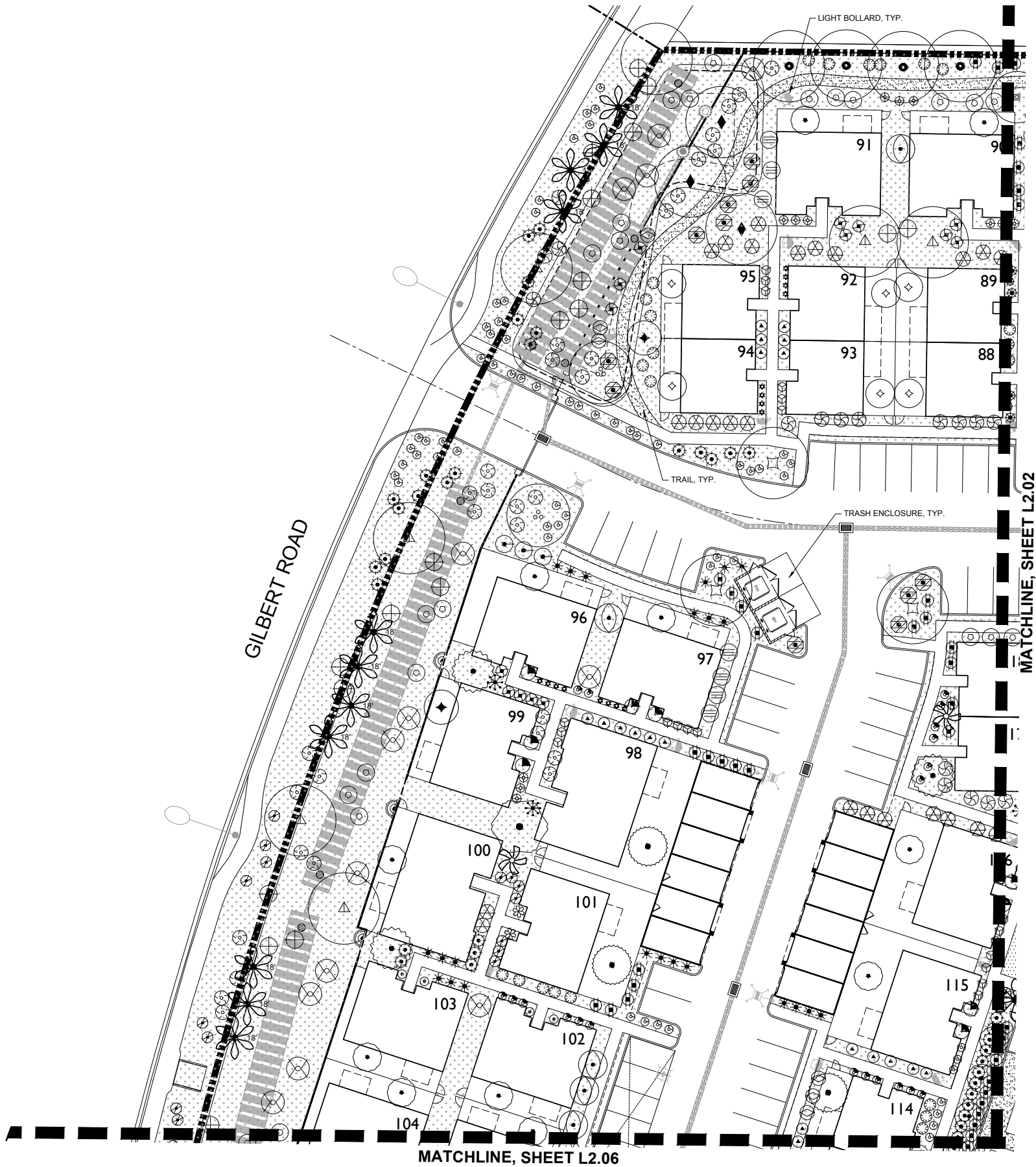
PLANTING NOTES

L2.00

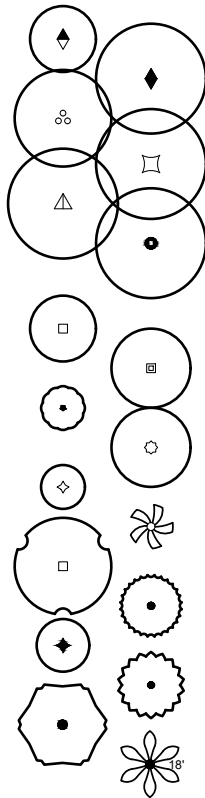
SHEET 3 OF 13

4TH SUBMITTAL

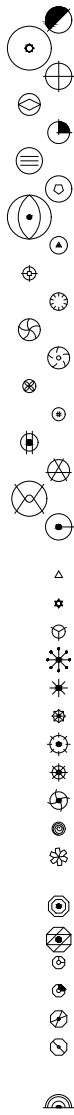
L:\19001632 GILBERT & ASH\64 LANDSCAPE\2 DDB SHEETS\CONCEPTUAL L2 PLAN\1632.DD\L2.01 PLANTING PLAN.dwg 4/6/2020 tm bulowiczky



LANDSCAPE MATERIAL SCHEDULE

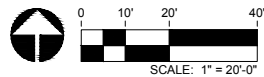
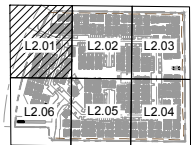


SHADE TREES	
ITEM	
<i>Fraxinus greggii</i>	LITTLE LEAF ASH
<i>Fraxinus velutina</i> 'Fan-Tex'	FAN-TEX ASH
<i>Parkinsonia</i> x 'Desert Museum'	DESERT MUSEUM PALO VERDE
<i>Pistacia</i> x 'Red Push'	RED PUSH PISTACHE
<i>Prosopis glandulosa</i> 'Thornless AZT'	THORNLESS HONEY MESQUITE
<i>Ulmus parvifolia</i> 'Sempervirens'	CHINESE EVERGREEN ELM
ACCENT/ORNAMENTAL TREES	
ITEM	
<i>Acacia aneura</i>	MULGA
<i>Acacia salicina</i>	WILLOW ACACIA
<i>Bauhinia lunarioides</i>	ANACACHO ORCHID
<i>Caesalpinia cacalaco</i> 'Smoothie'™	CASCALOTE
<i>Caesalpinia mexicana</i>	MEXICAN BIRD-OF-PARADISE
<i>Chamaerops humilis</i>	MEDITERRANEAN FAN PALM
<i>Chitalpa tashkentensis</i>	PINK DAWN CHITALPA
<i>Cordia boissieri</i>	TEXAS OLIVE
<i>Pistacia lentiscus</i>	MASTIC TREE
<i>Sophora secundiflora</i>	TEXAS MOUNTAIN LAUREL
<i>Vitex agnus-castus</i>	CHASTE TREE
<i>Washingtonia robusta</i>	MEXICAN FAN PALM



SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow'	5 GAL.
TORCH GLOW BUSH BOUGAINVILLEA	
<i>Caesalpinia mexicana</i>	15 GAL.
MEXICAN BIRD-OF-PARADISE	
<i>Caesalpinia pulcherrima</i>	5 GAL.
RED BIRD-OF-PARADISE	
<i>Calliandra californica</i>	5 GAL.
RED BAJA FAIRY DUSTER	
<i>Callistemon viminalis</i> 'Little John'	5 GAL.
LITTLE JOHN BOTTLEBRUSH	
<i>Cassia artemisioides</i>	5 GAL.
FEATHERY CASSIA	
<i>Cassia phyllodinea</i>	5 GAL.
SILVERY CASSIA	
<i>Dodonaea viscosa</i> 'Green'	5 GAL.
GREEN HOPSEED BUSH	
<i>Eremophila glabra carnea</i>	5 GAL.
WINTER BLAZE EMU BUSH	
<i>Eremophila hygrophana</i> 'Blue Bells'	5 GAL.
BLUE BELLS	
<i>Eremophila maculata</i> 'Valentine'	5 GAL.
VALENTINE BUSH	
<i>Leucophyllum laevigatum</i>	5 GAL.
CHIHUAHUA SAGE	
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy'	5 GAL.
LYNN'S LEGACY TEXAS SAGE	
<i>Myrtus communis</i> 'Compacta'	5 GAL.
DWARF MYRTLE	
<i>Nandina domestica</i> 'Nana'	5 GAL.
DWARF HEAVENLY BAMBOO	
<i>Ruellia brittoniana</i>	5 GAL.
BRITISH RUELLIA	
<i>Ruellia peninsularis</i>	5 GAL.
DESERT RUELLIA	
<i>Tecoma</i> x 'Orange Jubilee'	5 GAL.
ORANGE JUBILEE YELLOW BELLS	
<i>Tecomaria capensis</i>	5 GAL.
CAPE HONEYSUCKLE	
ACCENTS	
<i>Aloe striata</i>	5 GAL.
CORAL ALOE	
<i>Aloe</i> x 'Blue Elf'	3 GAL.
BLUE ELF ALOE	
<i>Bouteloua gracilis</i>	5 GAL.
BLUE GRAMA	
<i>Hesperaloe funifera</i>	5 GAL.
GIANT HESPERALOE	
<i>Hesperaloe parviflora</i>	5 GAL.
RED YUCCA	
<i>Hesperaloe parviflora</i> 'Perpa'	5 GAL.
BRAKELIGHTS RED YUCCA	
<i>Muhlenbergia capillaris</i>	5 GAL.
'REGAL MIST'	
<i>Muhlenbergia emersleyi</i>	5 GAL.
'EL TORO' GRASS	
<i>Muhlenbergia lindheimeri</i>	5 GAL.
'AUTUMN GLOW'	
<i>Pedilanthus macrocarpus</i>	5 GAL.
SLIPPER PLANT	
<i>Yucca pallida</i>	5 GAL.
PALE LEAF YUCCA	
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet'™	1 GAL.
DESERT CARPET ACACIA	
<i>Eremophila glabra</i> 'Mingenew Gold'	1 GAL.
OUTBACK SUNRISE	
<i>Lantana camara</i> 'New Gold'	1 GAL.
NEW GOLD LANTANA	
<i>Lantana montvidensis</i>	1 GAL.
PURPLE TRAILING LANTANA	
<i>Rosmarinus officinalis</i> 'Prostratus'	1 GAL.
PROSTRATE ROSEMARY	
<i>Wedelia trilobata</i>	1 GAL.
YELLOW DOT	
VINES	
<i>Bougainvillea</i> 'Barbara Karst'	5 GAL.
BARBARA KARST BOUGAINVILLEA	
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron'	SOD
BERMUDA GRASS	
ROCK MULCH	1/2"
PALO VERDE BROWN GRANITE	SCREENED
ARTIFICIAL TURF	
4' WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



Rvi

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20

PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 or local utility
working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

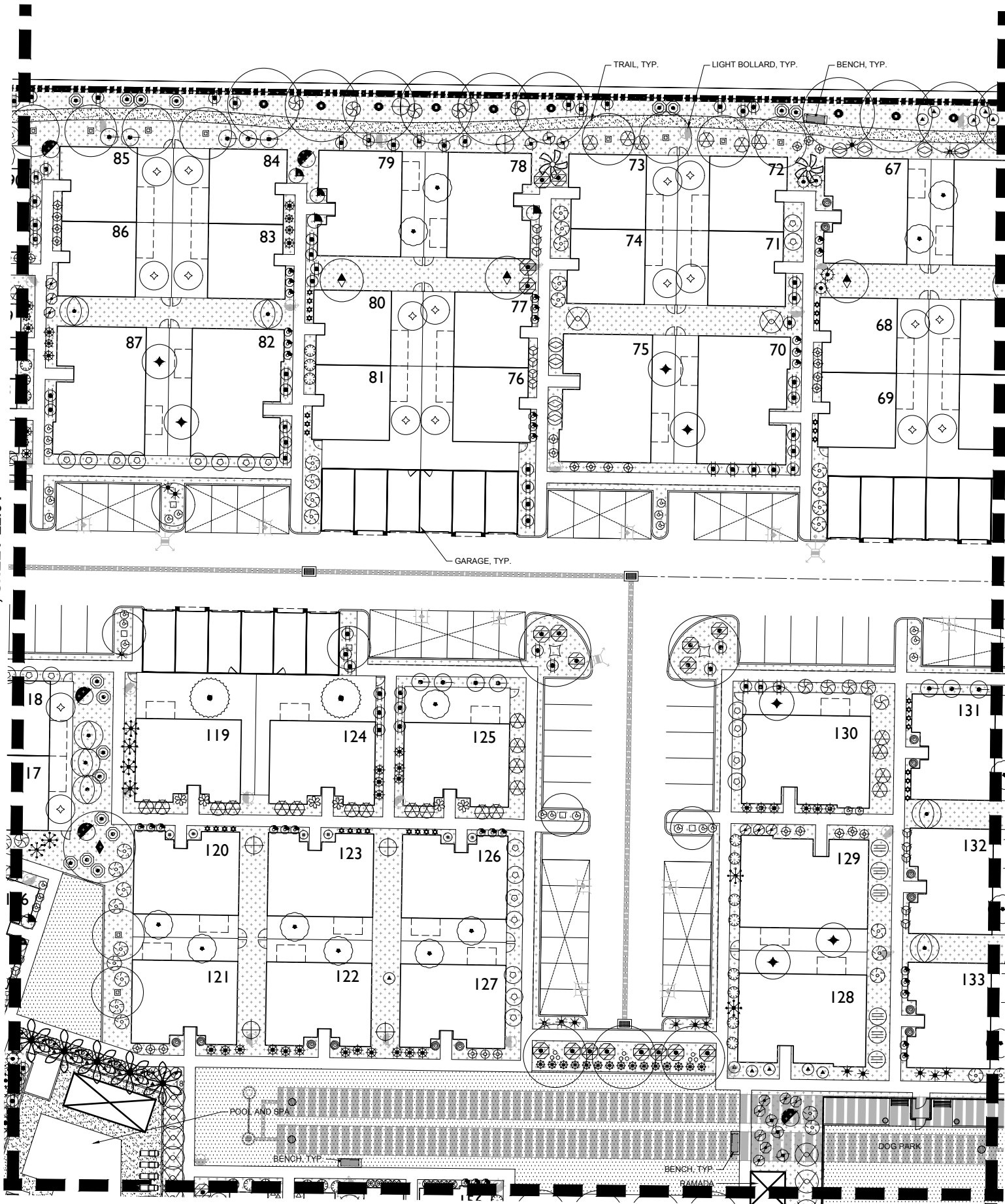
PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100
101
102
103
104
105
106
107
108
109
110
111
112
113
114
115
116
117
118
119
120
121
122
123
124
125
126
127
128
129
130
131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224
225
226
227
228
229
230
231
232
233
234
235
236
237
238
239
240
241
242
243
244
245
246
247
248
249
250
251
252
253
254
255
256
257
258
259
260
261
262
263
264
265
266
267
268
269
270
271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315
316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342
343
344
345
346
347
348
349
350
351
352
353
354
355
356
357
358
359
360
361
362
363
364
365
366
367
368
369
370
371
372
373
374
375
376
377
378
379
380
381
382
383
384
385
386
387
388
389
390
391
392
393
394
395
396
397
398
399
400
401
402
403
404
405
406
407
408
409
410
411
412
413
414
415
416
417
418
419
420
421
422
423
424
425
426
427
428
429
430
431
432
433
434
435
436
437
438
439
440
441
442
443
444
445
446
447
448
449
450
451
452
453
454
455
456
457
458
459
460
461
462
463
464
465
466
467
468
469
470
471
472
473
474
475
476
477
478
479
480
481
482
483
484
485
486
487
488
489
490
491
492
493
494
495
496
497
498
499
500
501
502
503
504
505
506
507
508
509
510
511
512
513
514
515
516
517
518
519
520
521
522
523
524
525
526
527
528
529
530
531
532
533
534
535
536
537
538
539
540
541
542
543
544
545
546
547
548
549
550
551
552
553
554
555
556
557
558
559
560
561
562
563
564
565
566
567
568
569
570
571
572
573
574
575
576
577
578
579
580
581
582
583
584
585
586
587
588
589
590
591
592
593
594
595
596
597
598
599
600
601
602
603
604
605
606
607
608
609
610
611
612
613
614
615
616
617
618
619
620
621
622
623
624
625
626
627
628
629
630
631
632
633
634
635
636
637
638
639
640
641
642
643
644
645
646
647
648
649
650
651
652
653
654
655
656
657
658
659
660
661
662
663
664
665
666
667
668
669
670
671
672
673
674
675
676
677
678
679
680
681
682
683
684
685
686
687
688
689
690
691
692
693
694
695
696
697
698
699
700
701
702
703
704
705
706
707
708
709
710
711
712
713
714
715
716
717
718
719
720
721
722
723
724
725
726
727
728
729
730
731
732
733
734
735
736
737
738
739
740
741
742
743
744
745
746
747
748
749
750
751
752
753
754
755
756
757
758
759
760
761
762
763
764
765
766
767
768
769
770
771
772
773
774
775
776
777
778
779
780
781
782
783
784
785
786
787
788
789
790
791
792
793
794
795
796
797
798
799
800
801
802
803
804
805
806
807
808
809
810
811
812
813
814
815
816
817
818
819
820
821
822
823
824
825
826
827
828
829
830
831
832
833
834
835
836
837
838
839
840
841
842
843
844
845
846
847
848
849
850
851
852
853
854
855
856
857
858
859
860
861
862
863
864
865
866
867
868
869
870
871
872
873
874
875
876
877
878
879
880
881
882
883
884
885
886
887
888
889
890
891
892
893
894
895
896
897
898
899
900
901
902
903
904
905
906
907
908
909
910
911
912
913
914
915
916
917
918
919
920
921
922
923
924
925
926
927
928
929
930
931
932
933
934
935
936
937
938
939
940
941
942
943
944
945
946
947
948
949
950
951
952
953
954
955
956
957
958
959
960
961
962
963
964
965
966
967
968
969
970
971
972
973
974
975
976
977
978
979
980
981
982
983
984
985
986
987
988
989
990
991
992
993
994
995
996
997
998
999
1000
1001
1002
1003
1004
1005
1006
1007
1008
1009
1010
1011
1012
1013
1014
1015
1016
1017
1018
1019
1020
1021
1022
1023
1024
1025
1026
1027
1028
1029
1030
1031
1032
1033
1034
1035
1036
1037
1038
1039
1040
1041
1042
1043
1044
1045
1046
1047
1048
1049
1050
1051
1052
1053
1054
1055
1056
1057
1058
1059
1060
1061
1062
1063
1064
1065
1066
1067
1068
1069
1070
1071
1072
1073
1074
1075
1076
1077
1078
1079
1080
1081
1082
1083
1084
1085
1086
1087
1088
1089
1090
1091
1092
1093
1094
1095
1096
1097
1098
1099
1100
1101
1102
1103
1104
1105
1106
1107
1108
1109
1110
1111
1112
1113
1114
1115
1116
1117
1118
1119
1120
1121
1122
1123
1124
1125
1126
1127
1128
1129
1130
1131
1132
1133
1134
1135
1136
1137
1138
1139
1140
1141
1142
1143
1144
1145
1146
1147
1148
1149
1150
1151
1152
1153
1154
1155
1156
1157
1158
1159
1160
1161
1162
1163
1164
1165
1166
1167
1168
1169
1170
1171
1172
1173
1174
1175
1176
1177
1178
1179
1180
1181
1182
1183
1184
1185
1186
1187
1188
1189
1190
1191
1192
1193
1194
1195
1196
1197
1198
1199
1200
1201
1202
1203
1204
1205
1206
1207
1208
1209
1210
1211
1212
1213
1214
1215
1216
1217
1218
1219
1220
1221
1222
1223
1224
1225
1226
1227
1228
1229
1230
1231
1232
1233
1234
1235
1236
1237
1238
1239
1240
1241
1242
1243
1244
1245
1246
1247
1248
1249
1250
1251
1252
1253
1254
1255
1256
1257
1258
1259
1260
1261
1262
1263
1264
1265
1266
1267
1268
1269
1270
1271
1272
1273
1274
1275
1276
1277
1278
1279
1280
1281
1282
1283
1284
1285
1286
1287
1288
1289
1290
1291
1292
1293
1294
1295
1296
1297
1298
1299
1300
1301
1302
1303
1304
1305
1306
1307
1308
1309
1310
1311
1312
1313
1314
1315
1316
1317
1318
1319
1320
1321
1322
1323
1324
1325
1326
1327
1328
1329
1330
1331
1332
1333
1334
1335
1336
1337
1338
1339
1340
1341
1342
1343
1344
1345
1346
1347
1348
1349
1350
1351
1352
1353
1354
1355
1356
1357
1358
1359
1360
1361
1362
1363
1364
1365
1366
1367
1368
1369
1370
1371
1372
1373
1374
1375
1376
1377
1378
1379
1380
1381
1382
1383
1384
1385
1386
1387
1388
1389
1390
1391
1392
1393
1394
1395
1396
1397
1398
1399
1400
1401
1402
1403
1404
1405
1406
1407
1408
1409
1410
1411
1412
1413
1414
1415
1416
1417
1418
1419
1420
1421
1422
1423
1424
1425
1426
1427
1428
1429
1430
1431
1432
1433
1434
1435
1436
1437
1438
1439
1440
1441
1442
1443
1444
1445
1446
1447
1448
1449
1450
1451
1452
1453
1454
1455
1456
1457
1458
1459
1460
1461
1462
1463
1464
1465
1466
1467
1468
1469
1470
1471
1472
1473
1474
1475
1476
1477
1478
1479
1480
1481
1482
1483
1484
1485
1486
1487
1488
1489
1490
1491
1492
1493
1494
1495
1496
1497
1498
1499
1500
1501
1502
1503
1504
1505
1506
1507
1508
1509
1510
1511
1512
1513
1514
1515
1516
1517
1518
1519
1520
1521
1522
1523
1524
1525
1526
1527
1528
1529
1530
1531
1532
1533
1534
1535
1536
1537
1538
1539
1540
1541
1542
1543
1544
1545
1546
1547
1548
1549
1550
1551
1552
1553
1554
1555
1556
1557
1558
1559
1560
1561
1562
1563
1564
1565
1566
1567
1568
1569
1570
1571
1572
1573
1574
1575
1576
1

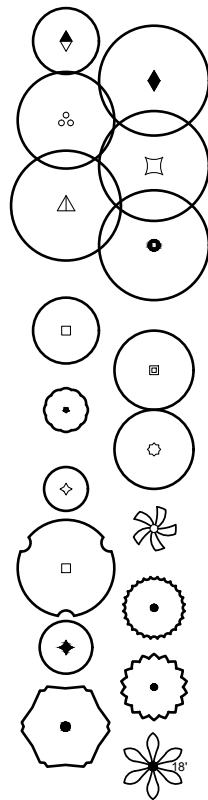
MATCHLINE, SHEET L2.01

MATCHLINE, SHEET L2.03

MATCHLINE, SHEET L2.05



LANDSCAPE MATERIAL SCHEDULE

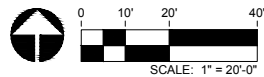
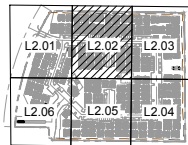


SHADE TREES	
ITEM	SIZE
<i>Fraxinus greggii</i> LITTLE LEAF ASH	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	
ACCENT/ORNAMENTAL TREES	
ITEM	SIZE
<i>Acacia aneura</i> MULGA	
<i>Acacia salicina</i> WILLOW ACACIA	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	
<i>Caesalpinia cacalaco</i> 'Smoothie'™ CASCALOTE	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	
<i>Cordia boissieri</i> TEXAS OLIVE	
<i>Pistacia lentiscus</i> MASTIC TREE	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	
<i>Vitex agnus-castus</i> CHASTE TREE	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	



SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow' TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	15 GAL.
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.
<i>Callistemon viminalis</i> 'Little John' LITTLE JOHN BOTTLEBRUSH	5 GAL.
<i>Cassia artemisioides</i> FEATHERY CASSIA	5 GAL.
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.
<i>Eremophila glabra carnososa</i> WINTER BLAZE EMU BUSH	5 GAL.
<i>Eremophila hygrophana</i> 'Blue Bells' BLUE BELLS	5 GAL.
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	5 GAL.
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.
<i>Myrtus communis</i> 'Compacta' DWARF MYRTLE	5 GAL.
<i>Nandina domestica</i> 'Nana' DWARF HEAVENLY BAMBOO	5 GAL.
<i>Ruellia brittoniana</i> BRITISH RUELLIA	5 GAL.
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.
<i>Tecoma</i> x 'Orange Jubilee' ORANGE JUBILEE YELLOW BELLS	5 GAL.
<i>Tecomaria capensis</i> CAPE HONEYSUCKLE	5 GAL.
ACCENTS	
<i>Aloe striata</i> CORAL ALOE	5 GAL.
<i>Aloe</i> x 'Blue Elf' BLUE ELF ALOE	3 GAL.
<i>Bouteloua gracilis</i> BLUE GRAMA	5 GAL.
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.
<i>Hesperaloe parviflora</i> RED YUCCA	5 GAL.
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.
<i>Muhlenbergia capillaris</i> 'REGAL MIST'	5 GAL.
<i>Muhlenbergia emersleyi</i> 'EL TORO' GRASS	5 GAL.
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.
<i>Pedicularis macrocarpus</i> SLIPPER PLANT	5 GAL.
<i>Yucca pallida</i> PALE LEAF YUCCA	5 GAL.
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet'™ DESERT CARPET ACACIA	1 GAL.
<i>Eremophila glabra</i> 'Mingenew Gold' OUTBACK SUNRISE	1 GAL.
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.
<i>Lantana montvidensis</i> PURPLE TRAILING LANTANA	1 GAL.
<i>Rosmarinus officinalis</i> 'Prostratus' PROSTRATE ROSEMARY	1 GAL.
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.
VINES	
<i>Bougainvillea</i> 'Barbara Karst' BARBARA KARST BOUGAINVILLEA	5 GAL.
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD
ROCK MULCH PALO VERDE BROWN GRANITE	1/2" SCREENED
ARTIFICIAL TURF	
4" WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



THE BUNGALOWS ON ASH

CONCEPTUAL LANDSCAPE PLAN

GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
1	
2	
3	
4	

PLANTING PLAN

L2.02

SHEET 5 OF 13

4TH SUBMITTAL

Rvi

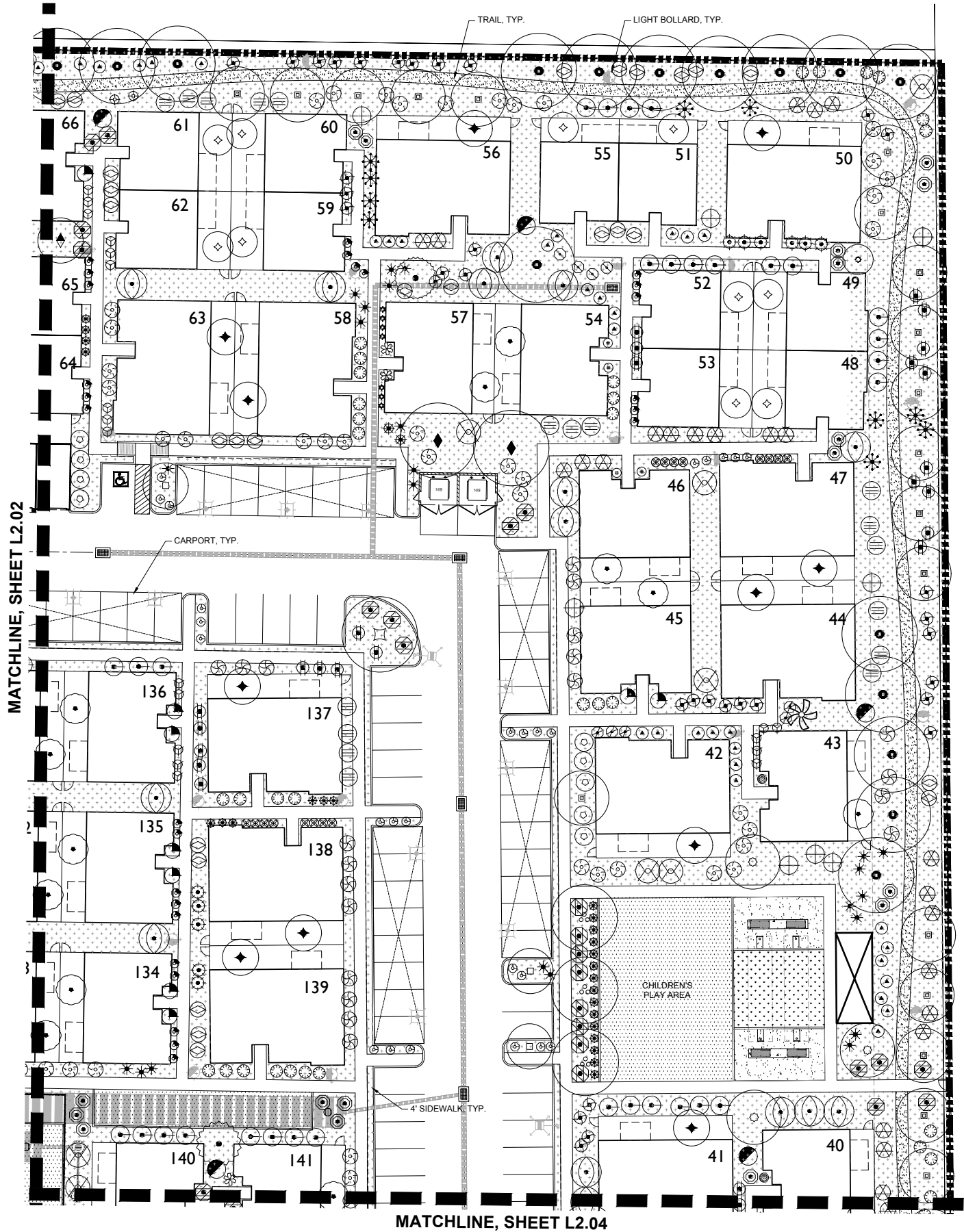
120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com

EXPIRES 03/31/20

PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 or local helpline for
working days before you begin excavation

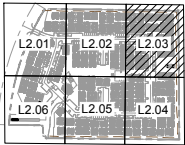
ARIZONA811
Call 811 or click Arizona811.com



LANDSCAPE MATERIAL SCHEDULE

SHADE TREES	
ITEM	SIZE
<i>Fraxinus greggii</i> LITTLE LEAF ASH	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	
ACCENT/ORNAMENTAL TREES	
ITEM	SIZE
<i>Acacia aneura</i> MULGA	
<i>Acacia salicina</i> WILLOW ACACIA	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	
<i>Caesalpinia cacalaco</i> 'Smoothie' TM CASCALOTE	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	
<i>Cordia boissieri</i> TEXAS OLIVE	
<i>Pistacia lentiscus</i> MASTIC TREE	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	
<i>Vitex agnus-castus</i> CHASTE TREE	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	
SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow' TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	15 GAL.
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.
<i>Callistemon viminalis</i> 'Little John' LITTLE JOHN BOTTLEBRUSH	5 GAL.
<i>Cassia artemisioides</i> FEATHERY CASSIA	5 GAL.
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.
<i>Eremophila glabra carnososa</i> WINTER BLAZE EMU BUSH	5 GAL.
<i>Eremophila hygrophana</i> 'Blue Bells' BLUE BELLS	5 GAL.
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	5 GAL.
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.
<i>Myrtus communis</i> 'Compacta' DWARF MYRTLE	5 GAL.
<i>Nandina domestica</i> 'Nana' DWARF HEAVENLY BAMBOO	5 GAL.
<i>Ruellia brittoniana</i> BRITISH RUELLIA	5 GAL.
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.
<i>Tecoma</i> x 'Orange Jubilee' ORANGE JUBILEE YELLOW BELLS	5 GAL.
<i>Tecomaria capensis</i> CAPE HONEYSUCKLE	5 GAL.
ACCENTS	
<i>Aloe striata</i> CORAL ALOE	5 GAL.
<i>Aloe</i> x 'Blue Elf' BLUE ELF ALOE	3 GAL.
<i>Bouteloua gracilis</i> BLUE GRAMA	5 GAL.
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.
<i>Hesperaloe parviflora</i> RED YUCCA	5 GAL.
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.
<i>Muhlenbergia capillaris</i> 'REGAL MIST'	5 GAL.
<i>Muhlenbergia emersleyi</i> 'EL TORO' GRASS	5 GAL.
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.
<i>Pedilanthus macrocarpus</i> SLIPPER PLANT	5 GAL.
<i>Yucca pallida</i> PALE LEAF YUCCA	5 GAL.
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet' TM DESERT CARPET ACACIA	1 GAL.
<i>Eremophila glabra</i> 'Mingenew Gold' OUTBACK SUNRISE	1 GAL.
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.
<i>Lantana montvidensis</i> PURPLE TRAILING LANTANA	1 GAL.
<i>Rosmarinus officinalis</i> 'Prostratus' PROSTRATE ROSEMARY	1 GAL.
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.
VINES	
<i>Bougainvillea</i> 'Barbara Karst' BARBARA KARST BOUGAINVILLEA	5 GAL.
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD
ROCK MULCH PALO VERDE BROWN GRANITE	1/2" SCREENED
ARTIFICIAL TURF	
4' WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
1	
2	
3	
4	

PLANTING PLAN

L2.03

Rvi

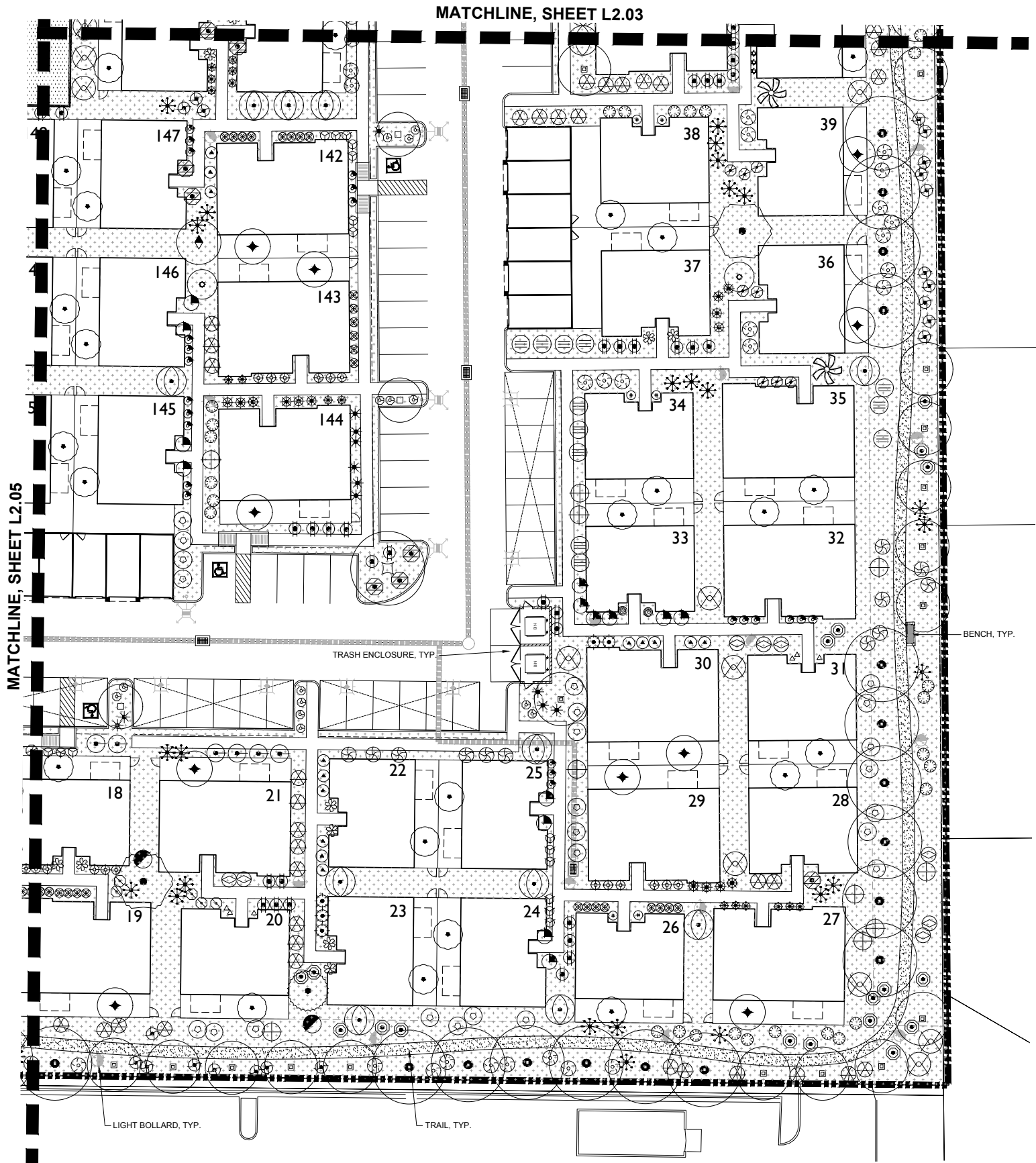
120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20

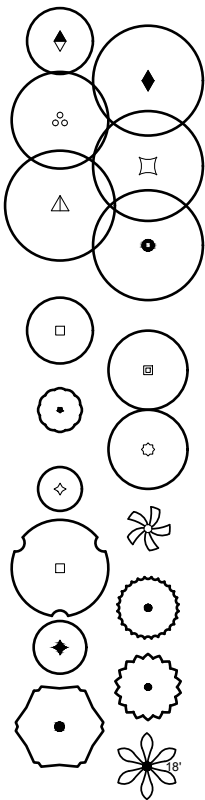
PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 at least 72 hrs
before you begin excavation

ARIZONA811
Call 811 or click Arizona811.com



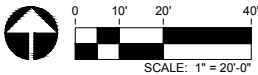
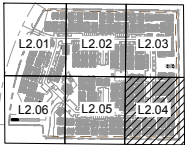
LANDSCAPE MATERIAL SCHEDULE



SHADE TREES	
ITEM	SIZE
<i>Fraxinus greggii</i> LITTLE LEAF ASH	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	
ACCENT/ORNAMENTAL TREES	
ITEM	SIZE
<i>Acacia aneura</i> MULGA	
<i>Acacia salicina</i> WILLOW ACACIA	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	
<i>Caesalpinia cactalaco</i> 'Smoothie' TM CASCALOTE	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	
<i>Cordia boissieri</i> TEXAS OLIVE	
<i>Pistacia lentiscus</i> MASTIC TREE	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	
<i>Vitex agnus-castus</i> CHASTE TREE	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	

SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow' TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	15 GAL.
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.
<i>Callistemon viminalis</i> 'Little John' LITTLE JOHN BOTTLEBRUSH	5 GAL.
<i>Cassia artemisioides</i> FEATHERY CASSIA	5 GAL.
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.
<i>Eremophila glabra carnososa</i> WINTER BLAZE EMU BUSH	5 GAL.
<i>Eremophila hygrophana</i> 'Blue Bells' BLUE BELLS	5 GAL.
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	5 GAL.
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.
<i>Myrtus communis</i> 'Compacta' DWARF MYRTLE	5 GAL.
<i>Nandina domestica</i> 'Nana' DWARF HEAVENLY BAMBOO	5 GAL.
<i>Ruellia brittoniana</i> BRITISH RUELLIA	5 GAL.
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.
<i>Tecoma x 'Orange Jubilee'</i> ORANGE JUBILEE YELLOW BELLS	5 GAL.
<i>Tecomaria capensis</i> CAPE HONEYSUCKLE	5 GAL.
ACCENTS	
<i>Aloe striata</i> CORAL ALOE	5 GAL.
<i>Aloe x 'Blue Elf'</i> BLUE ELF ALOE	3 GAL.
<i>Bouteloua gracilis</i> BLUE GRAMA	5 GAL.
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.
<i>Hesperaloe parviflora</i> RED YUCCA	5 GAL.
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.
<i>Muhlenbergia capillaris</i> 'REGAL MIST'	5 GAL.
<i>Muhlenbergia emersleyi</i> 'EL TORO' GRASS	5 GAL.
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.
<i>Pedicularis macrocarpus</i> SLIPPER PLANT	5 GAL.
<i>Yucca pallida</i> PALE LEAF YUCCA	5 GAL.
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet' TM DESERT CARPET ACACIA	1 GAL.
<i>Eremophila glabra</i> 'Mingenew Gold' OUTBACK SUNRISE	1 GAL.
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.
<i>Lantana montivdensis</i> PURPLE TRAILING LANTANA	1 GAL.
<i>Rosmarinus officinalis</i> 'Prostratus' PROSTRATE ROSEMARY	1 GAL.
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.
VINES	
<i>Bougainvillea</i> 'Barbara Karst' BARBARA KARST BOUGAINVILLEA	5 GAL.
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD
ROCK MULCH PALO VERDE BROWN GRANITE	1/2" SCREENED
ARTIFICIAL TURF	
4' WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



Rvi

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20

PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 at least 72 hrs
before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

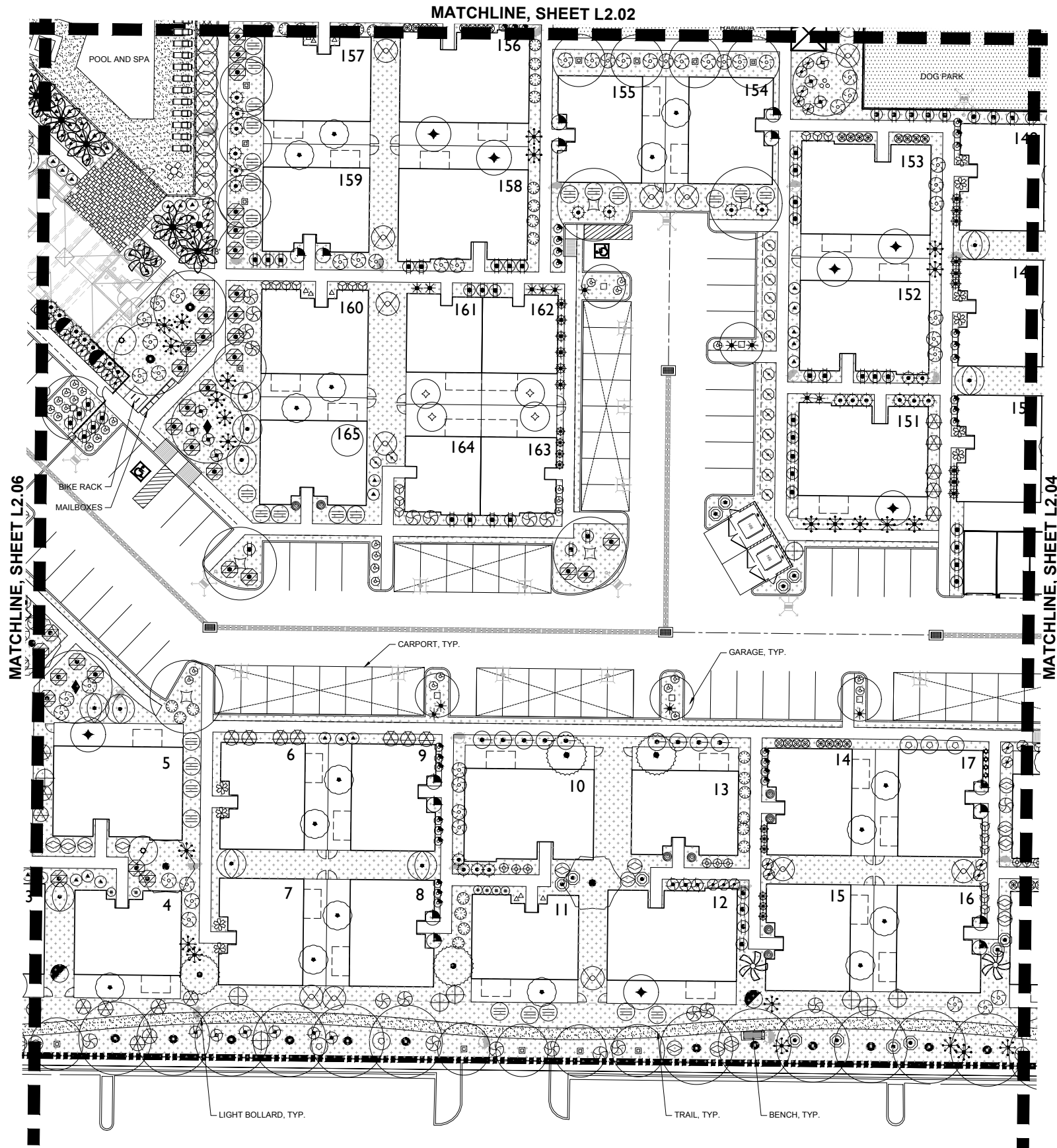
PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS

PLANTING PLAN

L2.04

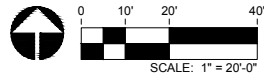
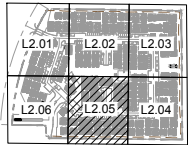
SHEET 7 OF 13



LANDSCAPE MATERIAL SCHEDULE

SHADE TREES	
ITEM	SIZE
<i>Fraxinus greggii</i> LITTLE LEAF ASH	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	
ACCENT/ORNAMENTAL TREES	
ITEM	SIZE
<i>Acacia aneura</i> MULGA	
<i>Acacia salicina</i> WILLOW ACACIA	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	
<i>Caesalpinia cacalaco</i> 'Smoothie'™ CASCALOTE	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	
<i>Cordia boissieri</i> TEXAS OLIVE	
<i>Pistacia lentiscus</i> MASTIC TREE	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	
<i>Vitex agnus-castus</i> CHASTE TREE	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	
SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow' TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	15 GAL.
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.
<i>Callistemon viminalis</i> 'Little John' LITTLE JOHN BOTTLEBRUSH	5 GAL.
<i>Cassia artemisioides</i> FEATHERY CASSIA	5 GAL.
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.
<i>Eremophila glabra carnosia</i> WINTER BLAZE EMU BUSH	5 GAL.
<i>Eremophila hygrophana</i> 'Blue Bells' BLUE BELLS	5 GAL.
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.
<i>Leucophyllum laevigatum</i> CHIHUAHUAN SAGE	5 GAL.
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.
<i>Myrtus communis</i> 'Compacta' DWARF MYRTLE	5 GAL.
<i>Nandina domestica</i> 'Nana' DWARF HEAVENLY BAMBOO	5 GAL.
<i>Ruellia brittoniana</i> BRITISH RUELLIA	5 GAL.
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.
<i>Tecoma</i> x 'Orange Jubilee' ORANGE JUBILEE YELLOW BELLS	5 GAL.
<i>Tecomaria capensis</i> CAPE HONEYSUCKLE	5 GAL.
ACCENTS	
<i>Aloe striata</i> CORAL ALOE	5 GAL.
<i>Aloe</i> x 'Blue Elf' BLUE ELF ALOE	3 GAL.
<i>Bouteloua gracilis</i> BLUE GRAMA	5 GAL.
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.
<i>Hesperaloe parviflora</i> RED YUCCA	5 GAL.
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.
<i>Muhlenbergia capillaris</i> 'REGAL MIST'	5 GAL.
<i>Muhlenbergia emersleyi</i> 'EL TORO' GRASS	5 GAL.
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.
<i>Pedilanthus macrocarpus</i> SLIPPER PLANT	5 GAL.
<i>Yucca pallida</i> PALE LEAF YUCCA	5 GAL.
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet'™ DESERT CARPET ACACIA	1 GAL.
<i>Eremophila glabra</i> 'Mingenew Gold' OUTBACK SUNRISE	1 GAL.
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.
<i>Lantana montvidensis</i> PURPLE TRAILING LANTANA	1 GAL.
<i>Rosmarinus officinalis</i> 'Prostratus' PROSTRATE ROSEMARY	1 GAL.
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.
VINES	
<i>Bougainvillea</i> 'Barbara Karst' BARBARA KARST BOUGAINVILLEA	5 GAL.
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD
ROCK MULCH PALO VERDE BROWN GRANITE	1/2" SCREENED
ARTIFICIAL TURF	
4" WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



THE BUNGALOWS ON ASH

CONCEPTUAL LANDSCAPE PLAN

GILBERT, ARIZONA

RvI
120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rvplanning.com

EXPIRES 03/31/20

PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 or local dig hot line
working days before you begin excavation
ARIZONA811
Call 811 or click Arizona811.com

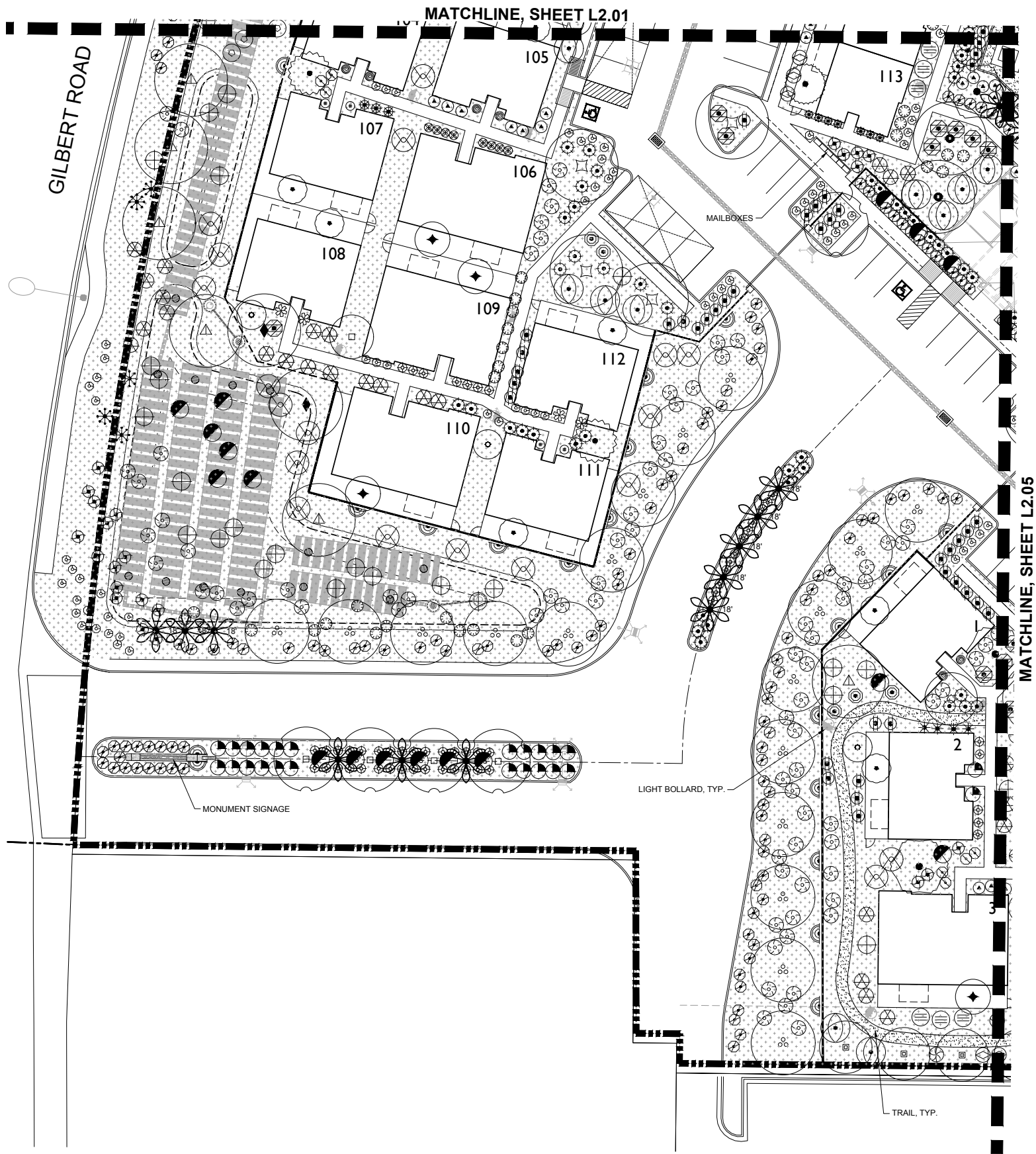
PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
▲	
▲	
▲	
▲	

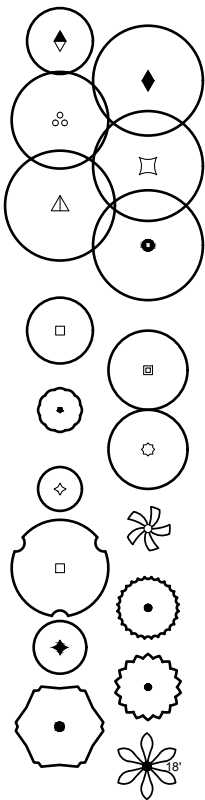
PLANTING PLAN

L2.05

SHEET 8 OF 13



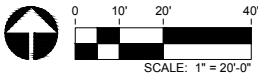
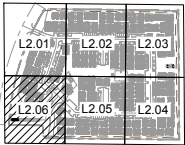
LANDSCAPE MATERIAL SCHEDULE



SHADE TREES	
ITEM	SIZE
<i>Fraxinus greggii</i> LITTLE LEAF ASH	
<i>Fraxinus velutina</i> 'Fan-Tex' FAN-TEX ASH	
<i>Parkinsonia</i> x 'Desert Museum' DESERT MUSEUM PALO VERDE	
<i>Pistacia</i> x 'Red Push' RED PUSH PISTACHE	
<i>Prosopis glandulosa</i> 'Thornless AZT' THORNLESS HONEY MESQUITE	
<i>Ulmus parvifolia</i> 'Sempervirens' CHINESE EVERGREEN ELM	
ACCENT/ORNAMENTAL TREES	
ITEM	SIZE
<i>Acacia aneura</i> MULGA	
<i>Acacia salicina</i> WILLOW ACACIA	
<i>Bauhinia lunarioides</i> ANACACHO ORCHID	
<i>Caesalpinia cacalaco</i> 'Smoothie' TM CASCALOTE	
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	
<i>Chamaerops humilis</i> MEDITERRANEAN FAN PALM	
<i>Chitalpa tashkentensis</i> PINK DAWN CHITALPA	
<i>Cordia boissieri</i> TEXAS OLIVE	
<i>Pistacia lentiscus</i> MASTIC TREE	
<i>Sophora secundiflora</i> TEXAS MOUNTAIN LAUREL	
<i>Vitex agnus-castus</i> CHASTE TREE	
<i>Washingtonia robusta</i> MEXICAN FAN PALM	

SHRUBS, ACCENTS, GROUNDCOVERS AND VINES	
ITEM	SIZE
SHRUBS	
<i>Bougainvillea</i> x 'Torch Glow' TORCH GLOW BUSH BOUGAINVILLEA	5 GAL.
<i>Caesalpinia mexicana</i> MEXICAN BIRD-OF-PARADISE	15 GAL.
<i>Caesalpinia pulcherrima</i> RED BIRD-OF-PARADISE	5 GAL.
<i>Calliandra californica</i> RED BAJA FAIRY DUSTER	5 GAL.
<i>Callistemon viminalis</i> 'Little John' LITTLE JOHN BOTTLEBRUSH	5 GAL.
<i>Cassia artemisioides</i> FEATHERY CASSIA	5 GAL.
<i>Cassia phyllodinea</i> SILVERY CASSIA	5 GAL.
<i>Dodonaea viscosa</i> 'Green' GREEN HOPSEED BUSH	5 GAL.
<i>Eremophila glabra carnosia</i> WINTER BLAZE EMU BUSH	5 GAL.
<i>Eremophila hygrophana</i> 'Blue Bells' BLUE BELLS	5 GAL.
<i>Eremophila maculata</i> 'Valentine' VALENTINE BUSH	5 GAL.
<i>Leucophyllum laevigatum</i> CHIHUAHUA SAGE	5 GAL.
<i>Leucophyllum langmaniae</i> 'Lynn's Legacy' LYNN'S LEGACY TEXAS SAGE	5 GAL.
<i>Myrtus communis</i> 'Compacta' DWARF MYRTLE	5 GAL.
<i>Nandina domestica</i> 'Nana' DWARF HEAVENLY BAMBOO	5 GAL.
<i>Ruellia brittoniana</i> BRITISH RUELLIA	5 GAL.
<i>Ruellia peninsularis</i> DESERT RUELLIA	5 GAL.
<i>Tecoma</i> x 'Orange Jubilee' ORANGE JUBILEE YELLOW BELLS	5 GAL.
<i>Tecomania capensis</i> CAPE HONEYSUCKLE	5 GAL.
ACCENTS	
<i>Aloe striata</i> CORAL ALOE	5 GAL.
<i>Aloe</i> x 'Blue Elf' BLUE ELF ALOE	3 GAL.
<i>Bouteloua gracilis</i> BLUE GRAMA	5 GAL.
<i>Hesperaloe funifera</i> GIANT HESPERALOE	5 GAL.
<i>Hesperaloe parviflora</i> RED YUCCA	5 GAL.
<i>Hesperaloe parviflora</i> 'Perpa' BRAKELIGHTS RED YUCCA	5 GAL.
<i>Muhlenbergia capillaris</i> 'REGAL MIST'	5 GAL.
<i>Muhlenbergia emersleyi</i> 'EL TORO' GRASS	5 GAL.
<i>Muhlenbergia lindheimeri</i> 'AUTUMN GLOW'	5 GAL.
<i>Pedilanthus macrocarpus</i> SLIPPER PLANT	5 GAL.
<i>Yucca pallida</i> PALE LEAF YUCCA	5 GAL.
GROUNDCOVERS	
<i>Acacia redolens</i> 'Desert Carpet' TM DESERT CARPET ACACIA	1 GAL.
<i>Eremophila glabra</i> 'Mingenew Gold' OUTBACK SUNRISE	1 GAL.
<i>Lantana camara</i> 'New Gold' NEW GOLD LANTANA	1 GAL.
<i>Lantana montvidensis</i> PURPLE TRAILING LANTANA	1 GAL.
<i>Rosmarinus officinalis</i> 'Prostratus' PROSTRATE ROSEMARY	1 GAL.
<i>Wedelia trilobata</i> YELLOW DOT	1 GAL.
VINES	
<i>Bougainvillea</i> 'Barbara Karst' BARBARA KARST BOUGAINVILLEA	5 GAL.
MISCELLANEOUS	
ITEM	SIZE
<i>Cynodon dactylon</i> 'Midiron' BERMUDA GRASS	SOD
ROCK MULCH PALO VERDE BROWN GRANITE	1/2" SCREENED
ARTIFICIAL TURF	
4' WIDE DG TRAIL	1/4" MINUS
CONCRETE HEADER	6" x 4"

KEY MAP



THE BUNGALOWS ON ASH
CONCEPTUAL LANDSCAPE PLAN
GILBERT, ARIZONA

PROJECT NO : 19001632
DATE : 04/06/2020
DRAWN : TB,RT
REVIEWED : MR

REVISIONS	
▲	
▲	
▲	
▲	

PLANTING PLAN

L2.06

Rvi

120 S. Ash Avenue
Tempe, Arizona 85281
Tel: 480.994.0994
www.rviplanning.com


EXPIRES 03/31/20

PRELIMINARY
NOT FOR
CONSTRUCTION

Contact Arizona 811 at least two full
working days before you begin excavation

ARIZONA811
Call 811 or click Arizona811.com

VICINITY MAP
NOT TO SCALE



HILGARTWILSON
ENGINEER | PLAN | SURVEY | MANAGE

2141 E. HIGHLAND AVE., STE. 250
PHOENIX, AZ 85016

P: 602.490.0335 / F: 602.368.2436
www.hilgartwilson.com

Contact Arizona 811 at least two full working days before you begin excavation

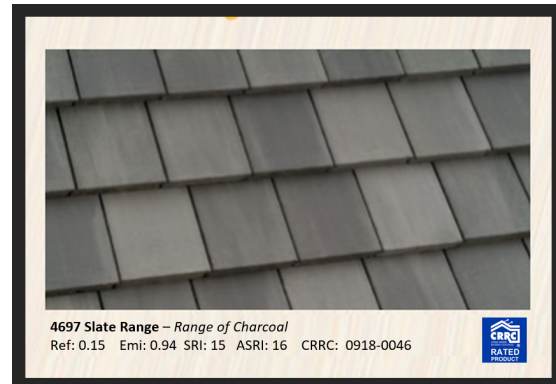
ARIZONA811

CALL 811 or click Arizona811.COM

U:\2100\2148\ENGR\PLANS\PRELIMIN\2148 - PGD.dwg 2/14/2020 8:05 AM

© Copyright 2020, HILGARTWILSON, LLC – This plan document set is the sole property of HILGARTWILSON, LLC. No alterations to these plans, other than adding "as-built" information, are allowed by anyone other than authorized HILGARTWILSON, LLC employees.

THE BUNGALOWS ONE BEDROOM FRONT ENTRANCE



BM Black #2132-10



BM Chantilly Lace #2121-70



BM Light Pewter #1464

BM Blue Spruce #1637



Raincloud Warehouse Brick

THE BUNGALOWS TWO BEDROOM



BM Lead Gray #2131-30

BM Chantilly Lace #2121-70



BM Light Pewter #1464



BM Winter Solstice #1605



THE BUNGALOWS THREE BEDROOM



BM Tyler Gray #CW-50



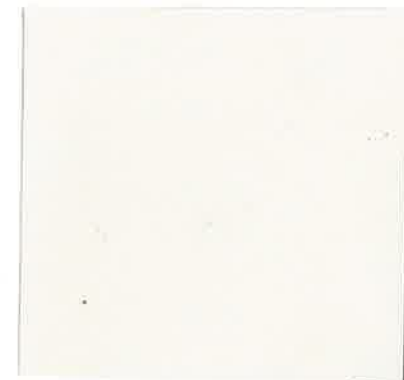
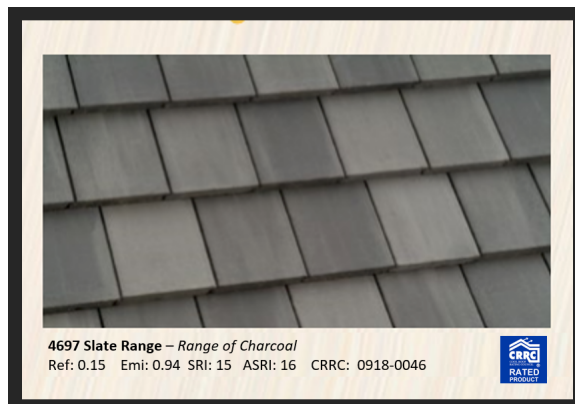
BM Washington Blue #CW-630

BM Chantilly Lace #2121-70

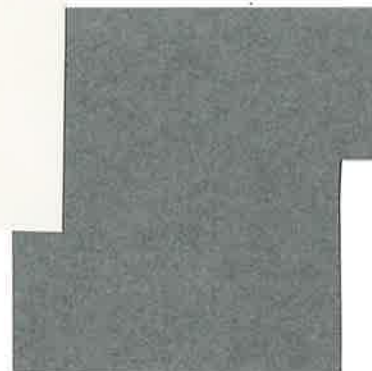


Lunar Craft Split Modular

THE BUNGALOWS GARAGE



BM Pale Oak #OC-20



DE Charcoal Smudge #DE6370

BM Chantilly Lace #2121-70



Craft Cannery Brick- Ghosted- Creative Mines

THE BUNGALOWS CLUBHOUSE



BM Black #2132-10

BM Pale Oak #OC-20

DE Charcoal Smudge #DE6370

BM Chantilly Lace #2121-70



Craft Cannery Brick- Ghosted- Creative Mines

Specification Sheet



Board and Batten

Vinyl Siding

General Description: CertainTeed Board and Batten Siding provides the rustic look of alternating wide and narrow cedar board vertical siding, but does not require the upkeep common to wood. Board and Batten siding is appropriate for use in new construction for single family homes, multi-housing projects and light commercial developments. Board and Batten is also an ideal product for remodeling.

Styles:

Profile	Finish	Panel Projection	Wall Thickness (Nominal)	Lock Design	Colors	Accessory Pocket	Length
Single 8" Vertical	Rough Cedar	1/2"	.048"	DuraLock™ post-formed positive lock	11	1/2"	10' and 12'6"

MOORADIA
& ASSOCIATES

4578 N. First Avenue, Suite 140 Tucson, AZ 85718
Tel: (520) 408-8117 Fax: (520) 408-8028

Notice: The architect shall verify and be responsible for all dimensions. DO NOT assume that any error, omissions or discrepancies must be reported to Mooradian & Associates, Inc. Immediately, All designs, drawings and specifications are the property of Mooradian & Associates, Inc. Reproduction or use of any part of this plan for any other project for which it has been prepared for is forbidden.

Project: **BUNGALOWS ON ASH**
Gilbert, Arizona

Client: **CAVAN PROPERTIES**

[illegible]

Drawing No.:
1BFE
SHEET OF

- | COLOR & MATERIALS TABLE | | |
|-------------------------|--------------------|---|
| KEYNOTE | MATERIAL | |
| 1 | BRICK VENEER | CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT |
| 3 | ROOF TILE | EAGLE - SIERRA MADRE 4503 |
| 4 | MAIN BODY STUCCO | S.W. - PURE WHITE 7005 |
| 5 | MAIN BODY STUCCO | B.M. - PALE OAK OC20 |
| 6 | STUCCO WINDOW TRIM | S.W. - PURE WHITE 7005 |
| 7 & 8 | BARCA & BATTEN | S.W. - PURE WHITE 7005 |
| 14 | FASCIA BOARD | S.W. - BLACK MAGIC SW6991 |
| 18 | SHUTTERS | S.W. - BLACK MAGIC SW6991 |
| 19 | DOOR | S.W. - BLACK MAGIC SW6991 |

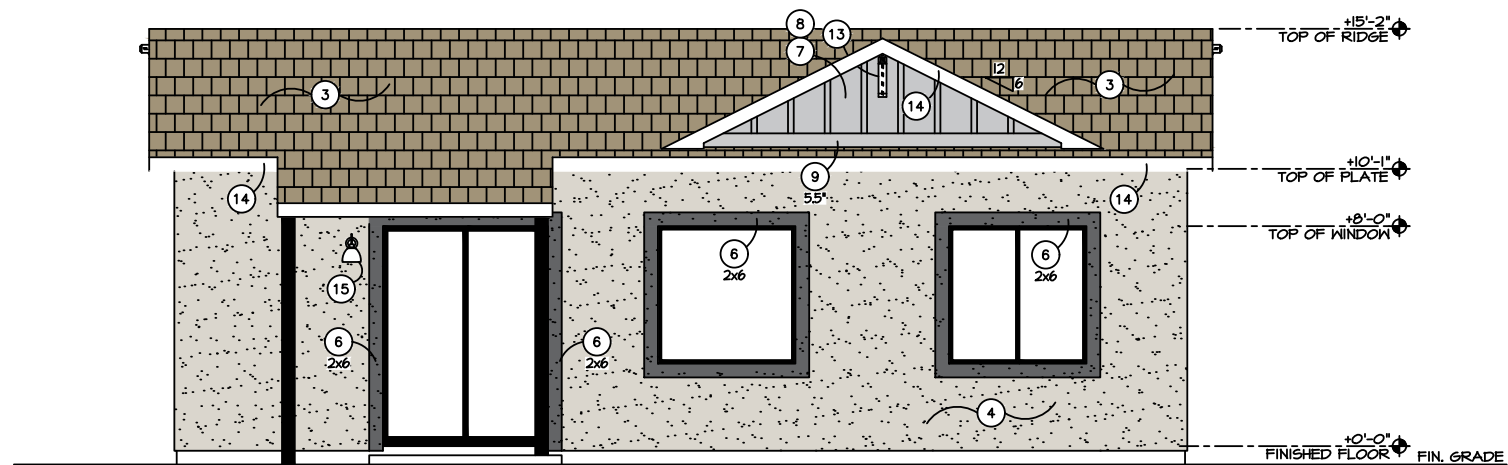


RIGHT ELEVATION

LEFT ELEVATION

FRONT ELEVATION

SCALE = N.T.S.

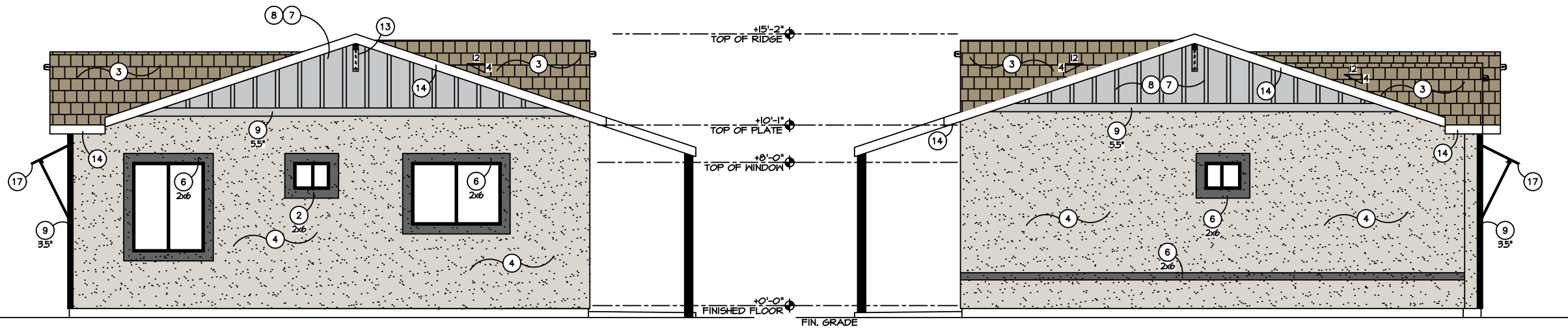


REAR ELEVATION

SCALE = N.T.S.

- ## ELEVATION KEYNOTES
-
-
- 1 BRICK VENEER - VERIFY STYLE AND COLOR
 - 2 SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
 - 3 CONCRETE TILE ROOF PEECS - VERIFY STYLE AND COLOR
 - 4 SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
 - 5 SAND FINISH STUCCO - VERIFY WITH SPECS
 - 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
 - 7 HARDEIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
 - 8 HARDEITRIM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
 - 9 HARDEITRIM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
 - 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
 - 11 BRIDGER STEEL PLATE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
 - 12 SHUTTERS - (3) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
 - 13 PYPON BRACKET BK7121/BK1X1S (OR SIMILAR) - SEE DETAIL
 - 14 SMOOTH FINISH FASCIA PER DETAIL
 - 15 SCONCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
 - 16 WINDOW GRAD PER ELEVATION
 - 17 ALUMINUM AWNING - SEE SPECIFICATIONS
 - 18 FRONT DOOR

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	BRAND / COLOR
3	ROOF TILE	EAGLE - SLATE RANGE 297
5	MAIN BODY STUCCO	B.M. - LIGHT PEWTER 1464
6	STUCCO WINDOW TRIM	B.M. - LEAD GRAY 2131-30
7 & 8	BOARD & BATTEN	B.M. - WINTER SOLSTICE 1605
13 & 14	FASCIA BOARD	B.M. - CHANTILLY LAKE 2121-70
18	DOOR	S.W. - DUTCH TILE BLUE SW0031

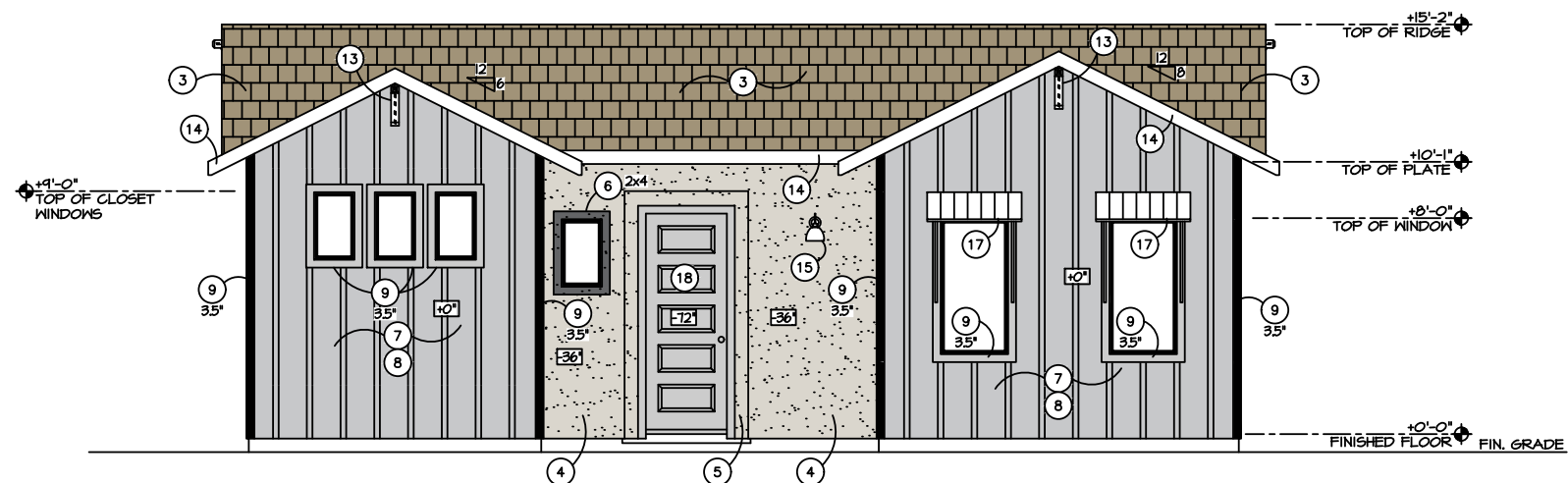


RIGHT ELEVATION

SCALE = N.T.S.

LEFT ELEVATION

SCALE = N.T.S.



FRONT ELEVATION

SCALE = N.T.S.

BID SET
NOT FOR
CONSTRUCTION

Project: **BUNGALOWS ON ASH**
Gilbert, Arizona

CAVAN PROPERTIES

[illegible]

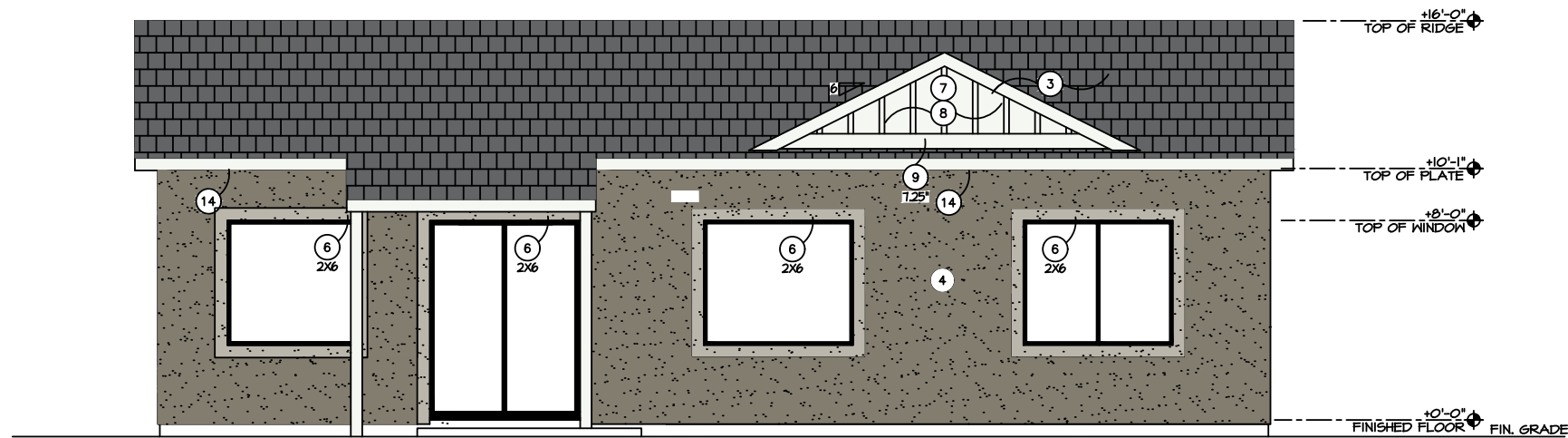
PROJECT NO.: **10900a**
CAD FILE: 10900A-EXHIBIT-COLOR
DRAWN BY: **D.C.**
CHECKED BY: **D.C.**
SCALE: **AS NOTED**
Sheet Title:
2-BEDROOM

Drawing No.:

2B

SHEET OF

Plot date: 2/26/2020 9:35 AM User: archd
File: c:\users\archd\dropbox (mooradian)\mooradian\Jobs\10900\architectural\Drawing\10900a-exhibit-color 200221
3/26/20 9:35 AM

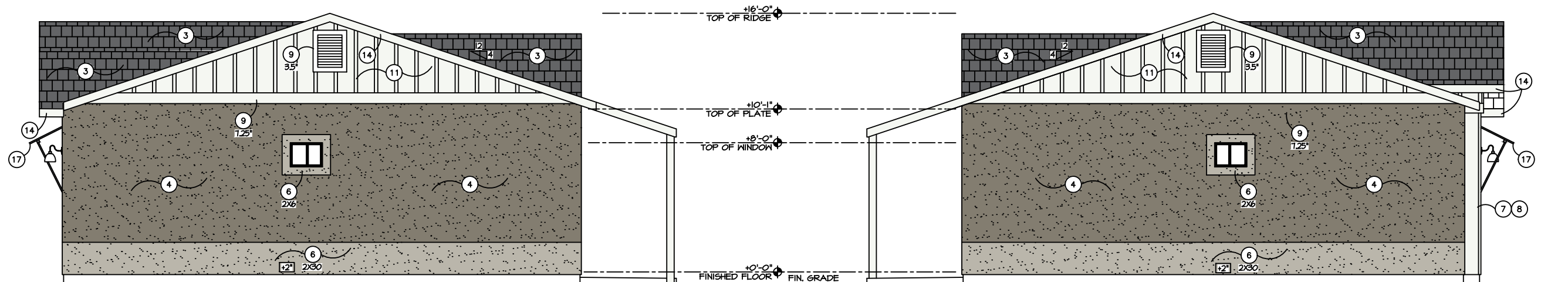


REAR ELEVATION

SCALE = 1/4"=1'-0"

- ELEVATION KEYNOTES
- STONE VENEER - VERIFY STYLE AND COLOR
 - SPANISH LACE FINISH STUCCO POP-OUT - SIZE AS INDICATED
 - CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
 - SPANISH LACE FINISH STUCCO - VERIFY WITH SPECS
 - SAND FINISH STUCCO - VERIFY WITH SPECS
 - SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
 - HARDIPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
 - HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
 - HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
 - BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
 - BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
 - SHUTTERS - (4) 5.25" WIDE VERTICAL PLANKS W/ (3) 5.25" HORIZONTAL
 - FYPON BRACKET BKT12X16X1X1S (OR SIMILAR) - SEE DETAIL
 - SMOOTH FINISH FASCIA PER DETAIL
 - SCONCE @ +90° TO CENTER - SEE SPECIFICATIONS FOR STYLE
 - WINDOW GRID PER ELEVATION
 - ALUMINUM AWNING - SEE SPECIFICATIONS
 - FRONT DOOR

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	CULTURED STONE	CREATIVE MINES - BLACK TRUFFLE CRAFT SPLIT MODULAR
3	ROOF TILE	EAGLE - SLATE RANGE 287
5	MAIN BODY STUCCO	B.M. - CARTER GRAY CW-80
6	STUCCO WINDOW TRIM	D.E. - RECLAIMED WOOD T625
7 & 8	BOARD & BATTEN	B.M. - CHANTILLY LACE 2121-70
14	FASCIA BOARD	B.M. - CHANTILLY LACE 2121-70
12 & 18	DOOR & SHUTTERS	B.M. - WASHINGTON BLUE CW-630

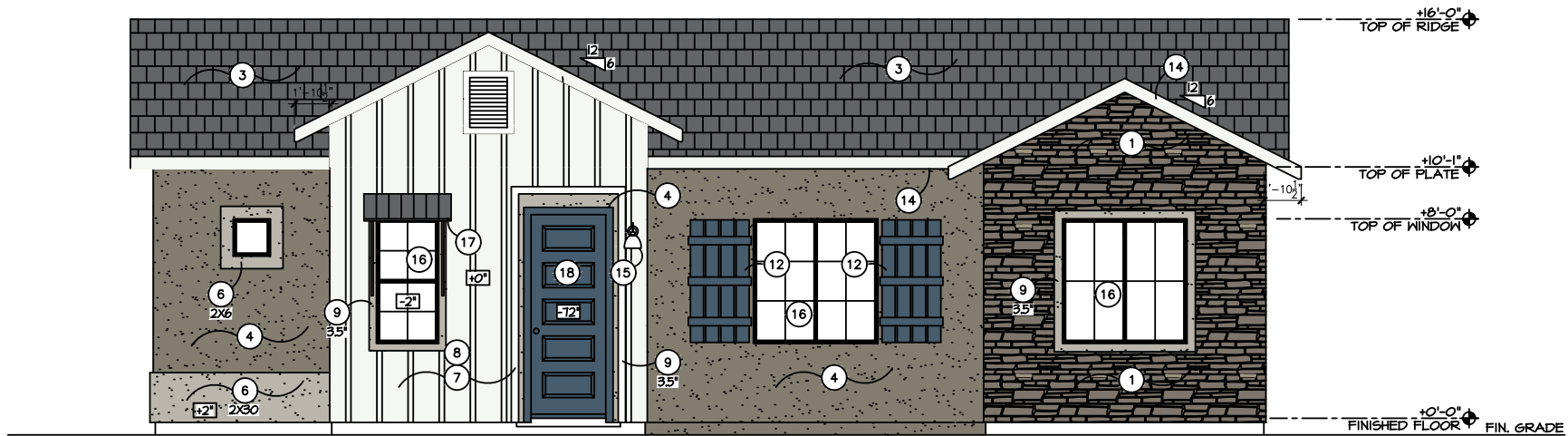


RIGHT ELEVATION

SCALE = 1/4"=1'-0"

LEFT ELEVATION

SCALE = 1/4"=1'-0"



FRONT ELEVATION

SCALE = 1/4"=1'-0"

MOORADIAN & ASSOCIATES
4578 N. First Avenue, Suite 140 Tucson, AZ 85718
T: (520) 408-8117 F: (520) 408-8028

Notice:
The Contractor shall verify and be responsible for all dimensions. DO NOT
rely on dimensions shown on drawings. All dimensions are based on
to Mooradian & Associates, Inc. immediately. All designs, drawings and
specifications are the property of Mooradian & Associates, Inc. Reproduction
without written permission of Mooradian & Associates, Inc. is prohibited.
been prepared for is forbidden.

BID SET
NOT FOR
CONSTRUCTION

Project: **BUNGALOWS ON ASH**
Gilbert, Arizona

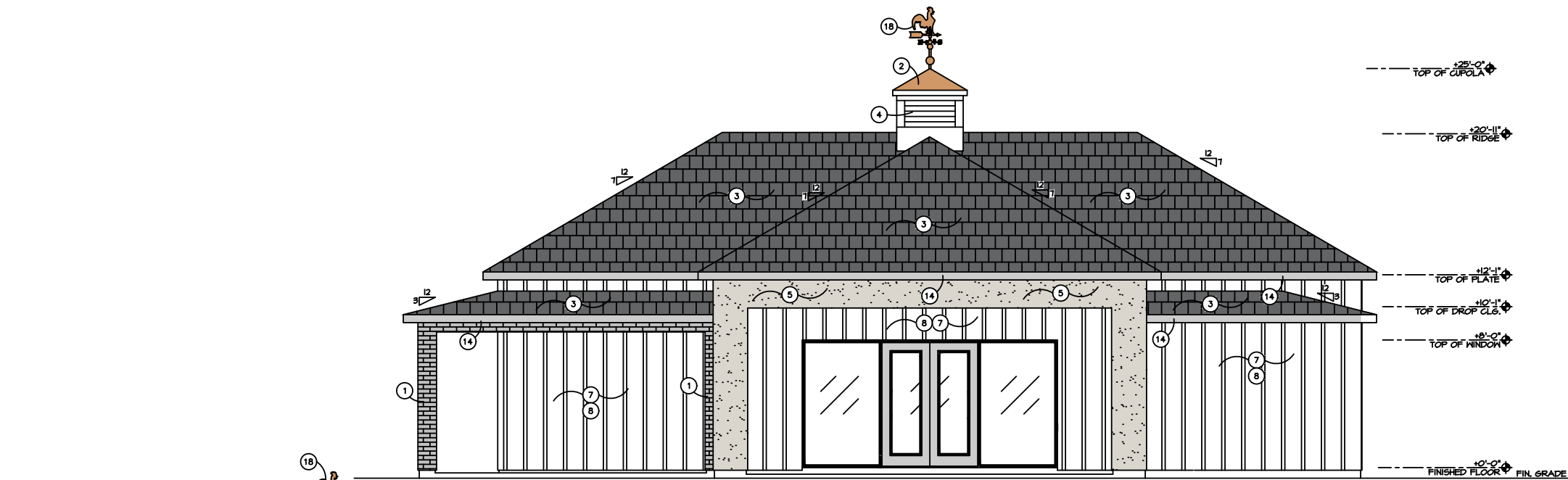
Client: **CAVAN PROPERTIES**

CD	MARK	DATE	CLIENT DELIVERY	DESCRIPTION

PROJECT NO.: **10900a**
CAD FILE: 10900a-EXHIBIT-COLOR
DRAWN BY: **D.C.**
CHECKED BY: **D.C.**
SCALE: **AS NOTED**
Sheet Title:
3-BEDROOM

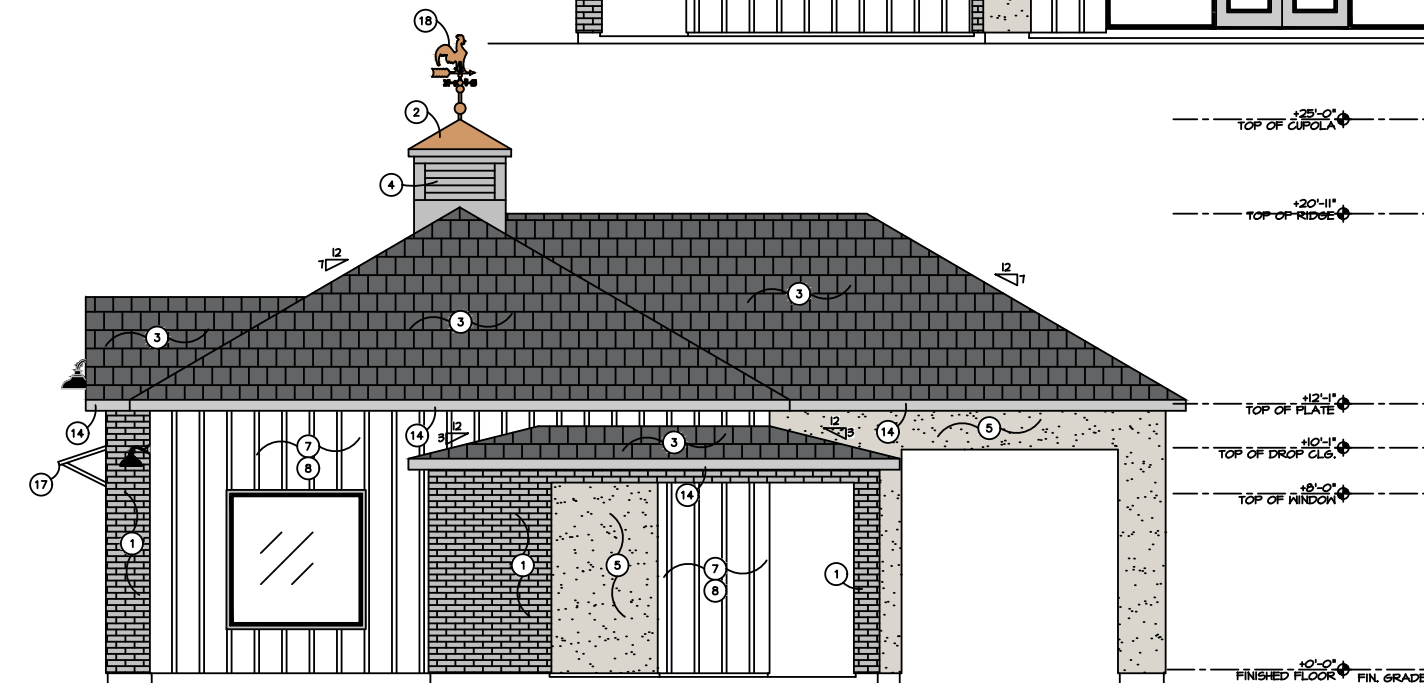
Drawing No.:
3B
SHEET OF

Plot date: 2/26/2020 9:35 AM User: archd
File: c:\users\archd\dropbox (mooradian)\mooradian\Jobs\10900\architectural\drawing\10900a-exhibit-color 200221
Print: 04-11-2020



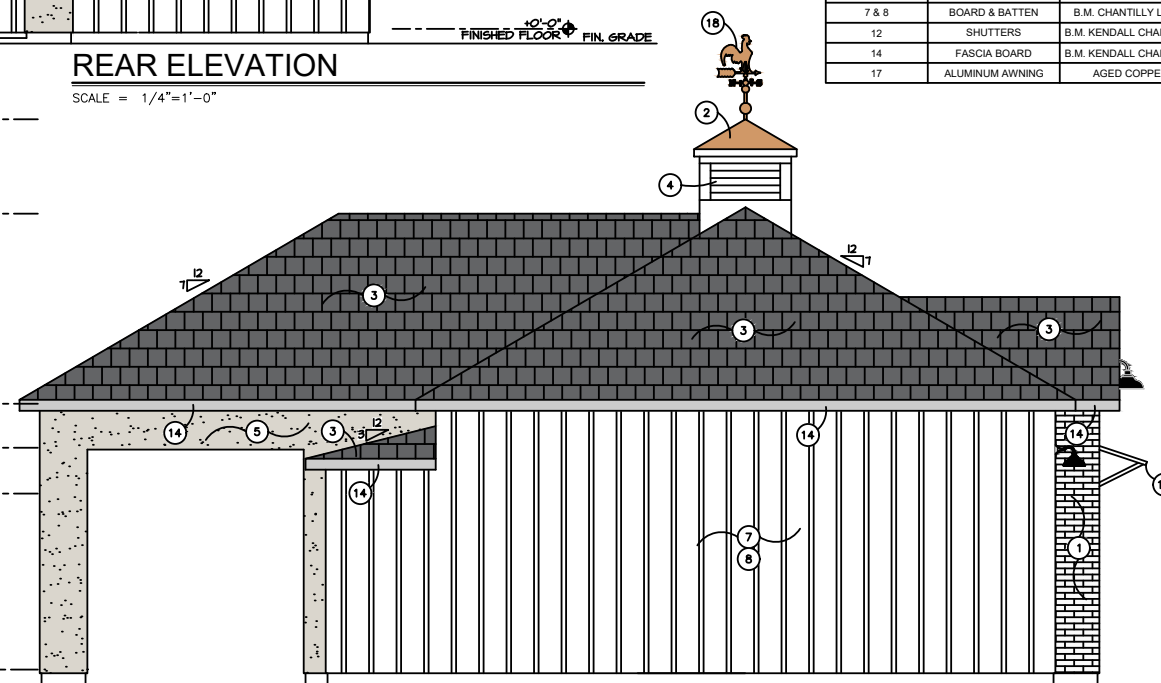
REAR ELEVATION

SCALE = 1/4"=1'-0"



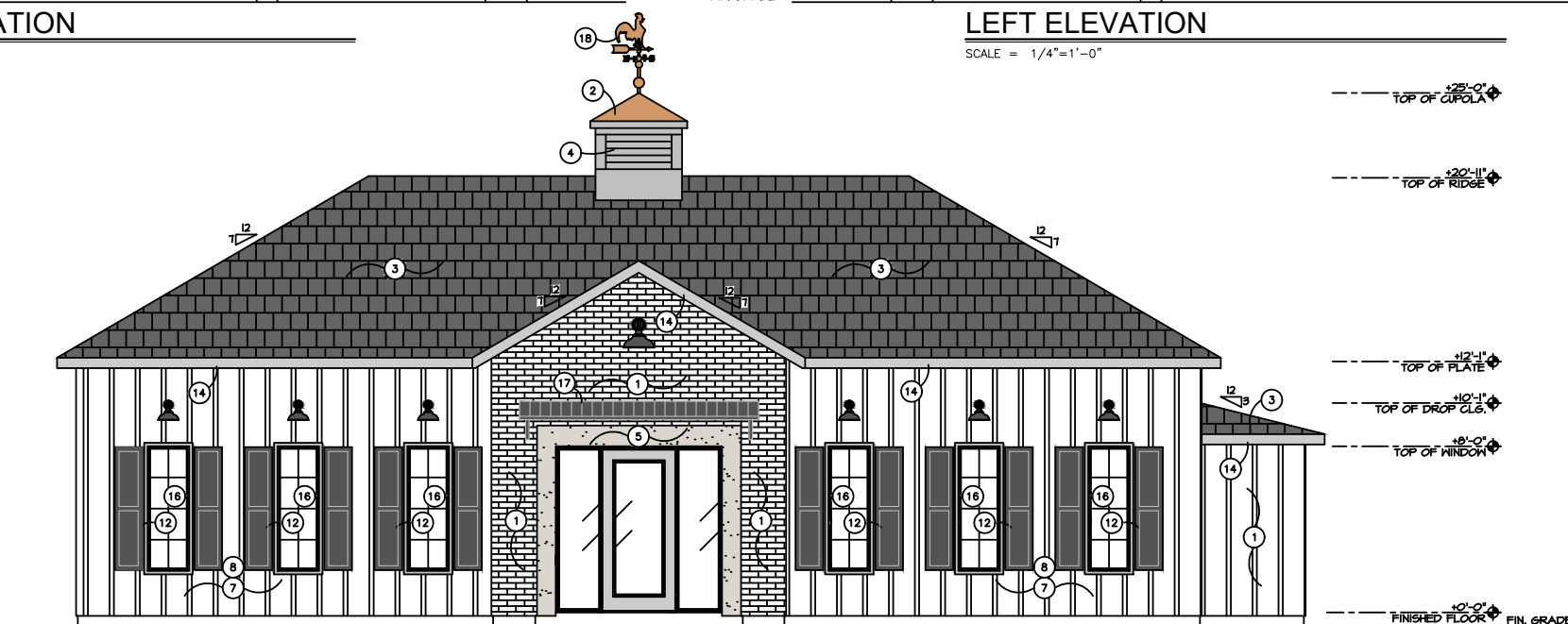
RIGHT ELEVATION

SCALE = 1/4"=1'-0"



LEFT ELEVATION

SCALE = 1/4"=1'-0"



FRONT ELEVATION

SCALE = 1/4"=1'-0"

ELEVATION KEYNOTES

- 1 BRICK VENEER - VERIFY STYLE AND COLOR
- 2 SHEET COPPER STANDING SEAM ROOF ON CUPOLA
- 3 CONCRETE TILE ROOF PER SPECS - VERIFY STYLE AND COLOR
- 4 LOUVERED VENT WITH INSECT SCREEN
- 5 SAND FINISH STUCCO - VERIFY WITH SPECS
- 6 SAND FINISH STUCCO POP-OUT - SIZE AS INDICATED
- 7 HARDIEPANEL VERTICAL SIDING (OR SIMILAR); VERIFY FINISH - ESR-2290
- 8 HARDIETRM BATTEN BOARDS (OR SIMILAR); VERIFY FINISH - ESR-2290
- 9 HARDIETRM BOARDS (OR SIMILAR), SIZE AS INDICATED; VERIFY FINISH - ESR-2290
- 10 BRIDGER STEEL 12" SHIPLAP WALL W/ 1" REVEAL (OR SIMILAR) - VERIFY COLOR
- 11 BRIDGER STEEL PLATTE RIVER PANEL (OR SIMILAR) - VERIFY COLOR
- 12 SHAKER STYLE SHUTTERS
- 13 FYPON BRACKET BKT12X16X1X15 (OR SIMILAR) - SEE DETAIL
- 14 SMOOTH FINISH FASCIA PER DETAIL
- 15 SCORCE @ +84" TO CENTER - SEE SPECIFICATIONS FOR STYLE
- 16 WINDOW GRID PER ELEVATION
- 17 ALUMINUM AWNING - SEE SPECIFICATIONS
- 18 COPPER ROOSTER WEATHERVANE W/ GROUNDING PROTECTION

COLOR & MATERIALS TABLE		
KEYNOTE	MATERIAL	
1	BRICK VENEER	CREATIVE MINES - GHOSTED CRAFT CANNERY BRICK W/ BLACK GROUT
2	STANDING SEAM ROOF	AGED COPPER SHEET
3	ROOF TILE	EAGLE - SLATE RANGE 297
4	LOUVERED VENT	B.M. CHANTILLY LACE 2121-70
5	MAIN BODY STUCCO	B.M. - PALE OAK OC20
7 & 8	BOARD & BATTEN	B.M. CHANTILLY LACE 2121-70
12	SHUTTERS	B.M. KENDALL CHARCOAL HC-106
14	FASCIA BOARD	B.M. KENDALL CHARCOAL HC-106
17	ALUMINUM AWNING	AGED COPPER SHEET

MOORADIAN & ASSOCIATES
4578 N. First Avenue, Suite 140 Tucson, AZ 85718
T: (520) 408-8117 F: (520) 408-8028

BID SET
NOT FOR
CONSTRUCTION

Project: **BUNGALOWS ON ASH**
Gilbert, Arizona
Client: **CAVAN PROPERTIES**

CD	12/11/19	CLIENT DELIVERY
MARK	DATE	DESCRIPTION

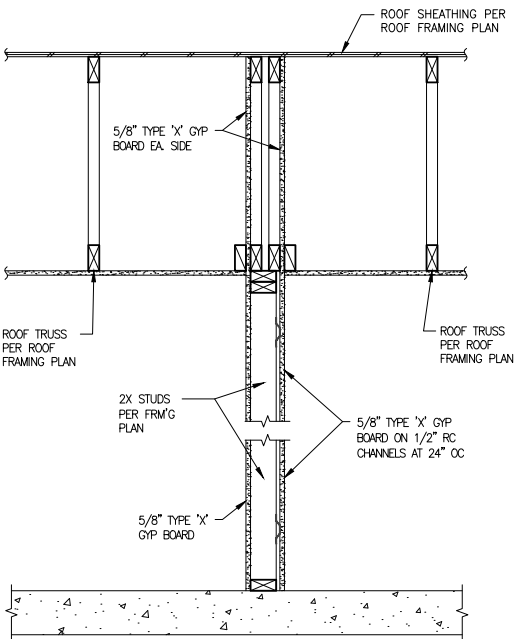
PROJECT NO.: **10900a**
CAD FILE: 10900a-EXHIBIT-COLOR
DRAWN BY: **D.C.**
CHECKED BY: **D.C.**
SCALE: **AS NOTED**
Sheet Title:
SMALL F.H. CLUBHOUSE

Drawing No.:
SMCH
SHEET OF

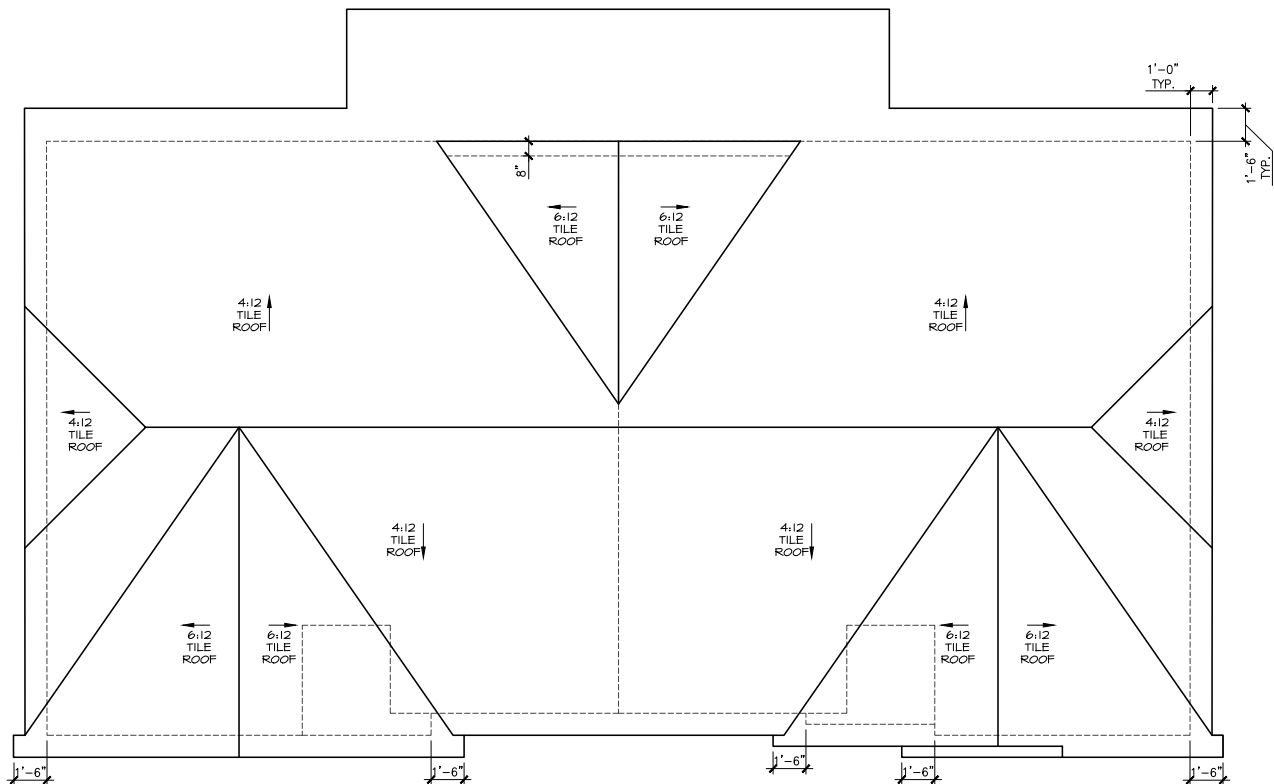
ⓧ FLOOR PLAN

-
- ROOF SHEATHING PER ROOF FRAMING PLAN
- ROOF FRMG PER ROOF FRAMING PLAN
- ROOF FRMG PER ROOF FRAMING PLAN
- 5/8" TYPE 'X' GYP BOARD EA. SIDE
- STUCCO & LATH OVER 1" FOAM BD. EA. SIDE
- 2X STUDS PER FRMG PLAN
- 5/8" TYPE 'X' GYP BOARD EA. SIDE
- STUCCO & LATH OVER 1" FOAM BD. EA. SIDE

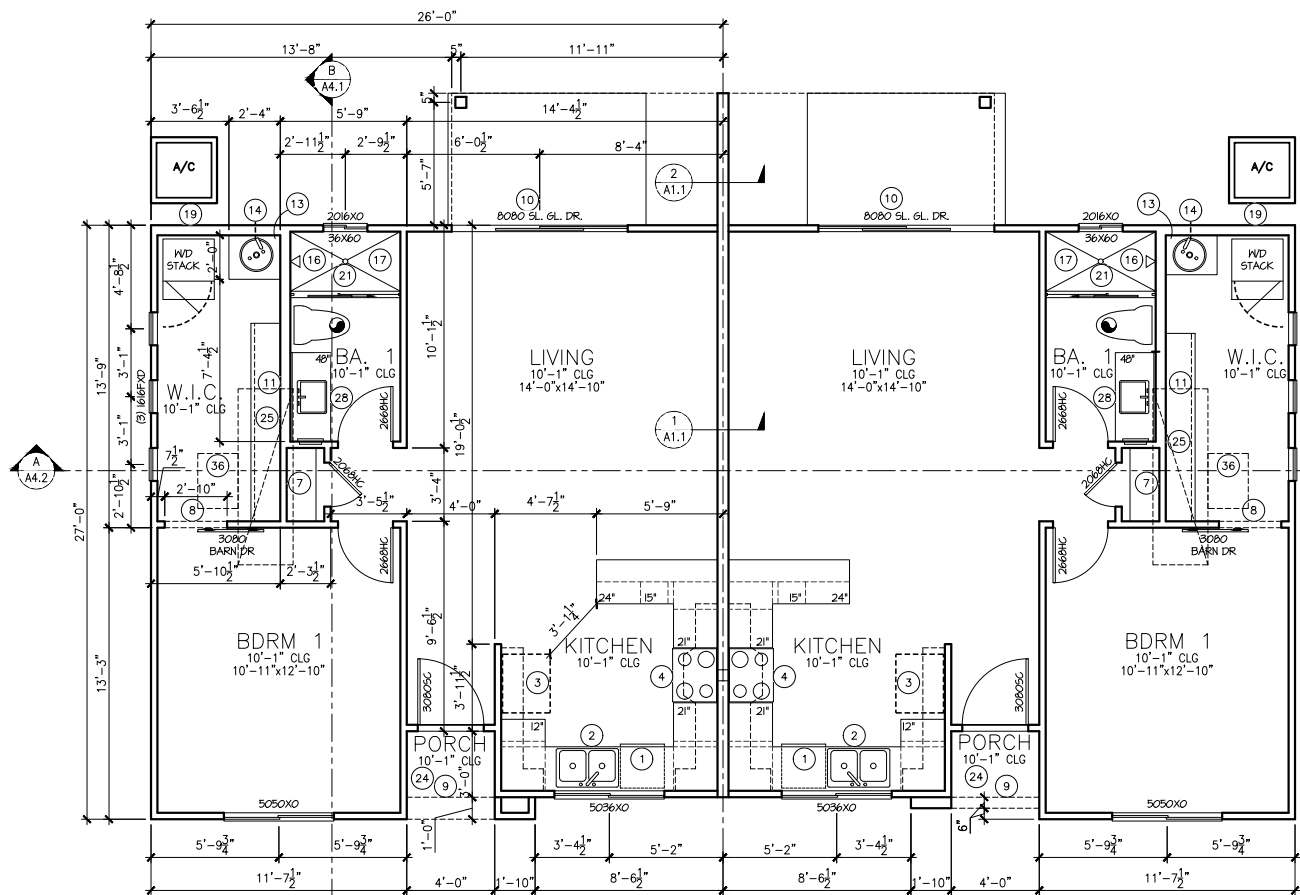
A1.1 SCALE: 1" = 1'-0"



A1.1 SCALE: 1" = 1'-0"



SCALE = 1/4"=1'-0'



FRONT ENTRY

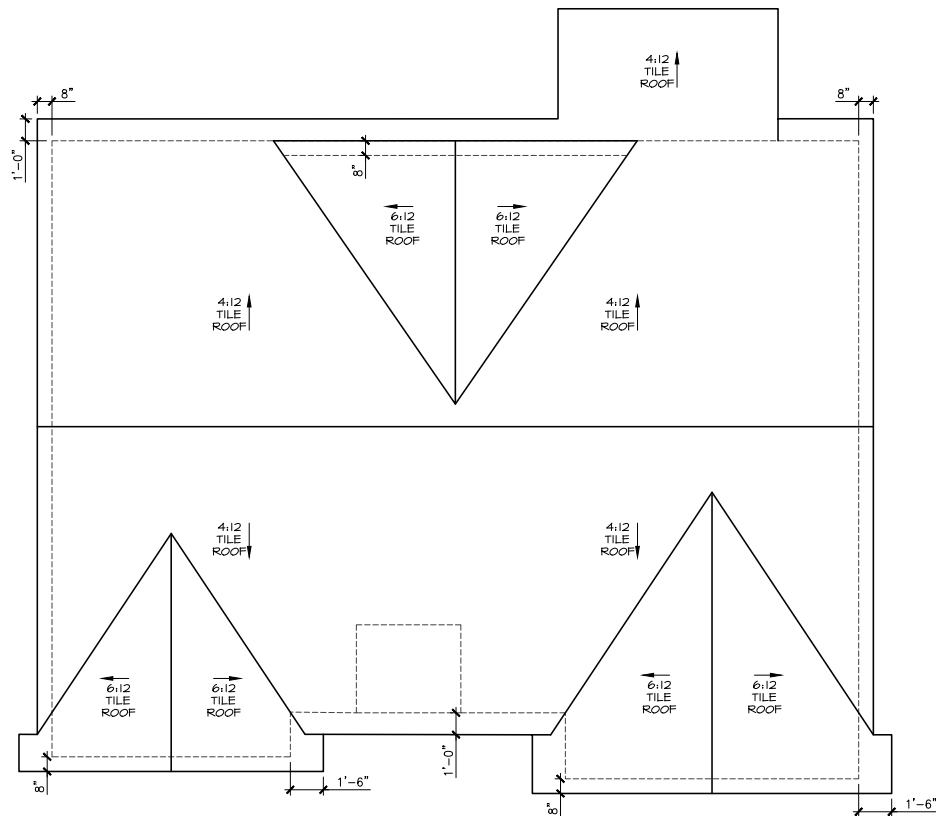
SCALE = 1/4"=1'-0"

1-BDRM DUPLEX

FLOOR PLAN NOTES

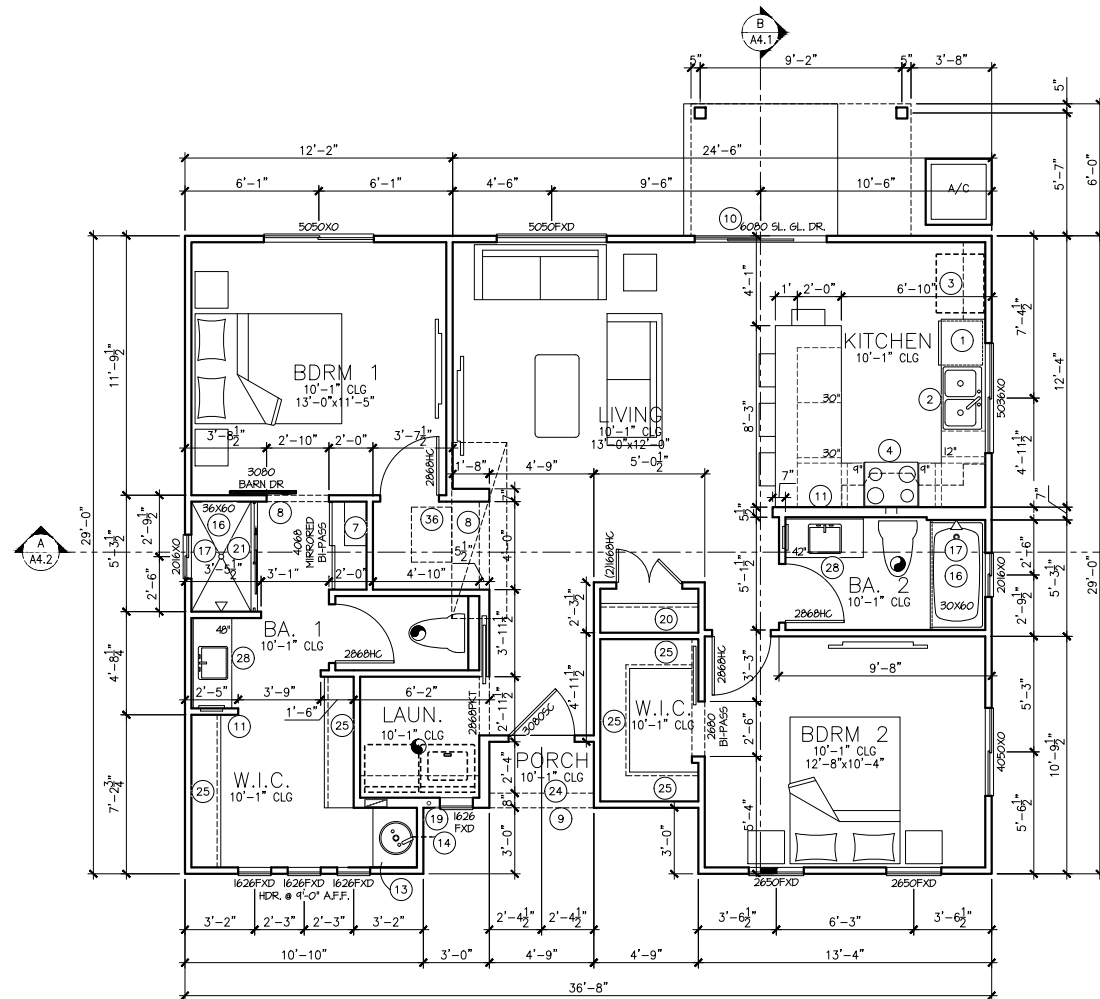
XX FLOOR PLAN KEYNOTES

1. ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
2. ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8146) (ASTM E84 CLASS A: FLAME SPREAD NO. 25)
3. ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
4. PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
5. APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
6. TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
7. ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
8. ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL
9. DISPOSE OF ALL WASTE TO THE 36" DRAIN
10. KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
11. STANDARD 38" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
12. COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
13. 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
14. OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
15. 8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
16. PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
17. LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
18. DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
19. EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
20. TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
21. 2X6 FRAMED WALL
22. GARAGE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING.
23. HEAT EXCHANGER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT.
24. 1&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
25. WATER SOFTENER LOCATION
26. CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +72" A.F.F.
27. FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
28. "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL, VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRPOOL TUB
29. 2X6 WALL FOR WASHER BOX AND 14 1/2"W. X 12"H. RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
30. CLOSET ROD AND 16" SHELF
31. TEMPERED GLASS SHOWER SURROUND
32. KNEE SPACE BELOW W/ COUNTER TOP AT +28"
33. 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
34. 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
35. CLOSET RODS/SHELVING PER DETAIL 11/44.1
36. SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
37. RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN.
38. VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
39. LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
40. UPPER CABINETS
41. RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.O.
42. HOSE BIBB WITH BACKFLOW PREVENTER
43. SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
44. PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 16D OR FRAMING NAILS FROM DOOR BUCK TO SOLID BACKING
45. 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
46. OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
47. 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL
48. MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
49. HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
50. COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
51. OPTIONAL 48" FIREPLACE
52. OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE



ROOF PLAN

SCALE = 1/4"=1'-0"



1012 SQ. FT. FLOOR PLAN

SCALE = 1/4"=1'-0"

2-BDRM SFH

MORADIAN
& ASSOCIATES
4578 N. First Avenue, Suite 140
Tucson, AZ 85718
F: (520) 408-8117
F: (520) 408-8028

BID SET
NOT FOR
CONSTRUCTION

Project: **BUNGALOWS ON ASH**
Gilbert, Arizona

Client: **CAVAN PROPERTIES**

[illegible]

PROJECT NO.: 10900a

CAD FILE: 10900A-1012-A101

DRAWN BY: D.C.

CHECKED BY: D.C.

Sheet Title:
2-BEDROOM
FLOOR PLAN

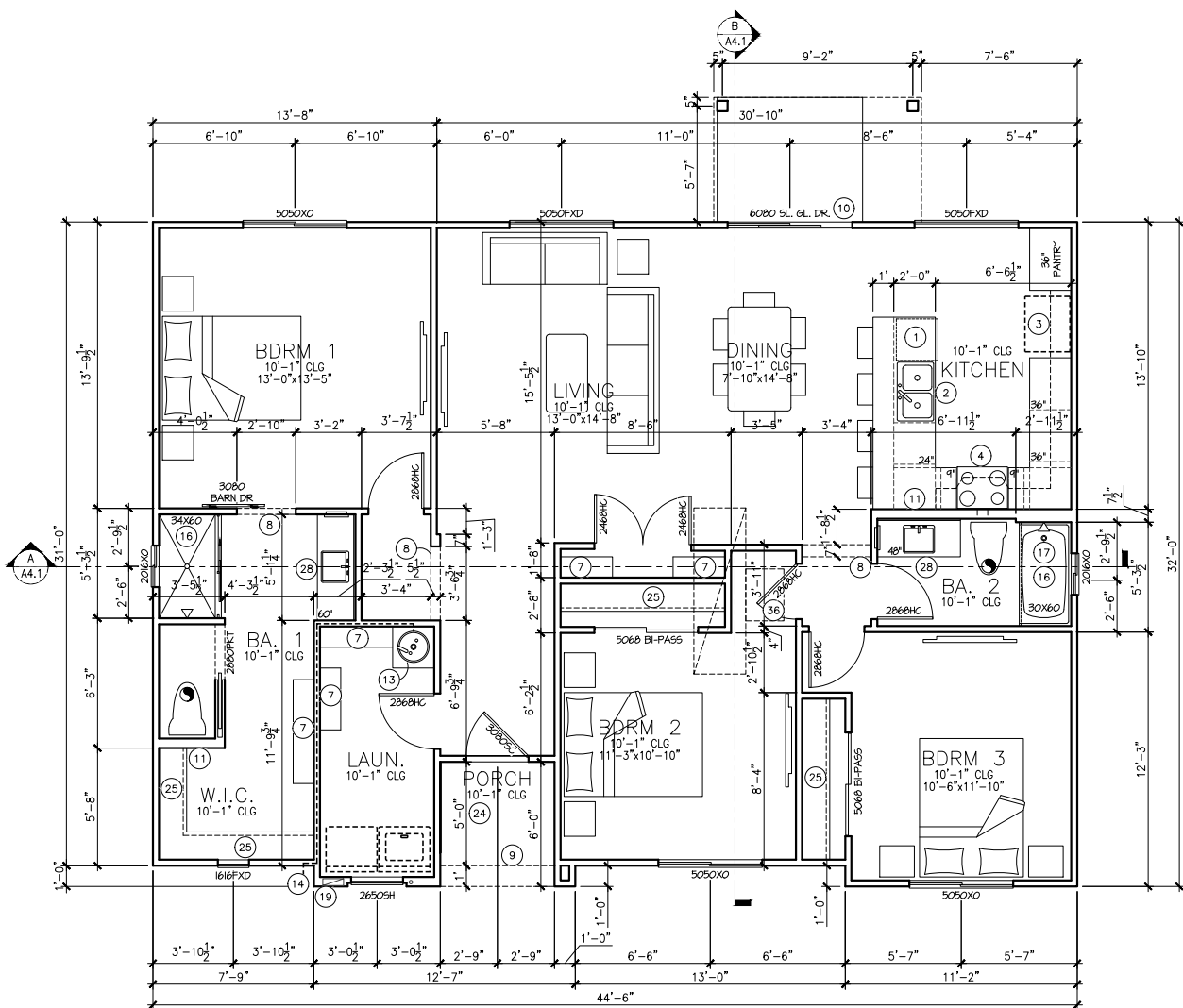
Drawing No.:

A1.1

SHEET

OF

Plot date: 2/26/2020 9:14 AM User: archd
File: c:\Users\Archd\Dropbox (mooradian)\mooradian\Jobs\10900\architectural\Drawing\10900a-1355-a101
Sheet: 0101



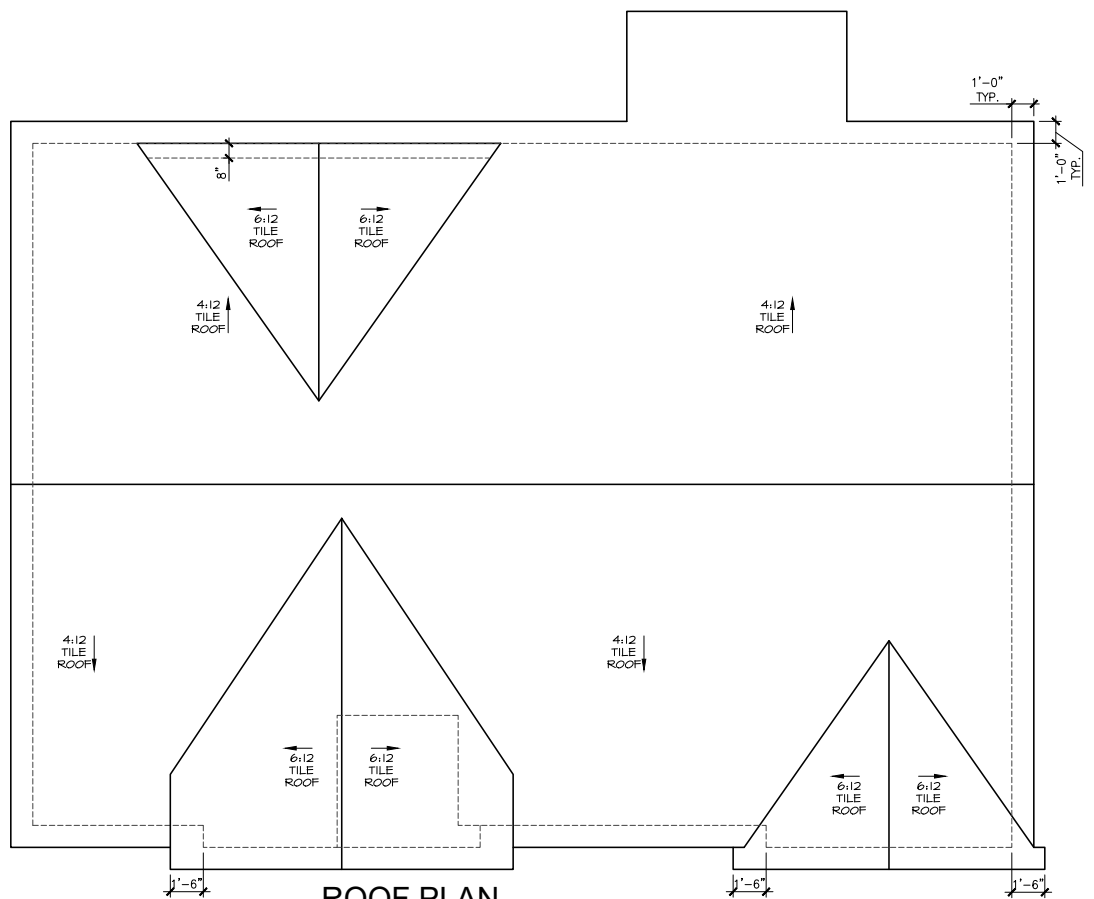
1355 SQ. FT. FLOOR PLAN
SCALE = 1/4"=1'-0"
3-BDRM SFH

FLOOR PLAN NOTES

- ALL WINDOW HEADER HEIGHTS ARE AT 8'-0", U.N.O.
- ALL PENETRATIONS THROUGH THE SEPARATION BETWEEN GARAGE AND LIVABLE AREA MUST BE PROTECTED BY FILLING THE OPEN AREA AROUND THE PENETRATION WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION PER SECTION R302.5, 2012 I.R.C. "SEMCO PR-855" CAULKING OR EQUAL (UL CLASSIFIED 8146) (ASTM E84 CLASS A; FLAME SPREAD NO. 25)
- ALL BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A MINIMUM NET HEIGHT DIMENSION OF 24" AND NET WIDTH DIMENSION OF 20". CLEAR OPENING HEIGHT SHALL NOT EXCEED 44" A.F.F.
- PROVIDE A CONTINUOUS 3'-0" WIDE (MINIMUM) PATH OF EGRESS FROM ALL BEDROOM WINDOWS/DOORS TO A PUBLIC WAY.
- APPLICABLE I.C.C. REPORTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT ROUGH-IN.
- TO ACHIEVE PROPER INSULATION INSTALLATION, PROVIDE HORIZ. AND/OR VERT. AIR BARRIER (O.S.B., GYP. BD. OR EQ.) AT MAIN ATTIC LINE (BOT. CHORD OF TRUSS), KNEE WALLS, GAPS, ETC.
- ALL WINDOWS TO COMPLY WITH LIGHT AND VENTING REQUIREMENTS PER 2018 I.R.C. SECTION R303.1
- ALL QUAD PANEL STACKING DOORS (16'-0" OR 20'-0") REQUIRE 8" MIN. WALL

FLOOR PLAN KEYNOTES

- DISHWASHER - SEE BUYERS SELECTION SHEET
- KITCHEN SINK W/ DISPOSAL - SEE BUYERS SELECTION SHEET
- STANDARD 38" WIDE (OR OPTIONAL 42" WIDE) REFRIGERATOR OPENING W/ RECESSED BOX AND BIBB FOR ICEMAKER
- COOKTOP OR RANGE W/ EXHAUST HOOD - SEE BUYERS SELECTION SHEET
8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- OVEN AND MICROWAVE - OR - DOUBLE OVEN LOCATION - SEE BUYERS SELECTION SHEET
8"W. X 8"H. RECESS @ +6" A.F.F. FOR GAS STUB (WHERE APPLICABLE)
- PANTRY - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- LINEN - PROVIDE BLOCKING AND INSTALL SHELVING PER BUILDERS SPECIFICATIONS
- DROPPED INTERIOR SOFFIT - 12" DOWN FROM LOWEST ADJACENT CEILING, U.N.O.
- EXTERIOR STUCCO WRAPPED SOFFIT - SEE ELEVATIONS FOR HEIGHT
- TEMPERED GLASS REQUIRED AT WINDOW OR DOOR
- 2X6 FRAMED WALL
- GARAGE TO HOUSE DOOR SHALL BE 1 3/8" SOLID CORE OR 20 MIN. FIRE RATED AND SELF-CLOSING AND SELF-LATCHING.
- WATER HEATER SHALL BE INSTALLED ON 18" HIGH PLATFORM AND PROTECTED FROM VEHICLE IMPACT.
- T&P RELIEF VALVE AND DRAIN TO EXTERIOR - MIN. 6" ABOVE FINISHED GRADE
- WATER SOFTENER LOCATION
- CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BOARD & IMPERMEABLE SURFACE AT THREE SIDES OF TUB OR SHOWER TO MIN. +72" A.F.F.
- FIBERGLASS SHOWER UNIT OR TUB/SHOWER UNIT W/ MARBLE PANELS (OR EQ.) TO 7'-6" MIN. ABV. DRAIN AT SHOWER, FOR GYP. BOARD REQ. - SEE BUYERS SELECTION SHEET
- "GARDEN" TUB - SIZE, DRAIN AND FAUCET LOC. VARY PER TUB MODEL, VERIFY W/ OWNER - PROVIDE PUMP ACCESS DOOR WITH OPTIONAL WHIRPOOL TUB
- 2X6 WALL FOR WASHER BOX AND 14 1/2"W. X 12"H. RECESS @ +6" A.F.F. FOR DRYER VENT (AND GAS STUB WHERE APPLICABLE)
- CLOSET ROD AND 16" SHELF
- TEMPERED GLASS SHOWER SURROUND
- KNEE SPACE BELOW W/ COUNTER TOP AT +28"
- 2X KNEE WALL - HEIGHT AS NOTED OR +34 1/2" AT FLUSH KITCHEN COUNTER CONDITION
- 1/2" SAG RESISTANT EXTERIOR GYPSUM SOFFIT BOARD (ESR #1338)
- CLOSET RODS/SHELVING PER DETAIL 11/A4.1
- SLOPE STUCCO SHELF FOR POSITIVE DRAINAGE, MIN. 1" P.L.F. (PROVIDE THERMO-PLASTIC WATERPROOFING MEMBRANE OR EQUAL UNDER STUCCO)
- RECESSED SHOWER AREA - REFER TO FOUNDATION PLAN FOR DETAILS. SLOPE FINISHED SURFACE TOWARD DRAIN.
- VANITY W/ MIRROR ABOVE - SEE BUYERS SELECTION SHEET
- LAUNDRY LOWER CABINETS AND OPTIONAL LAUNDRY SINK
- UPPER CABINETS
- RECESSED MEDICINE CABINET - BLOCKING AT +4'-4" AND +6'-4", U.N.O.
- HOSE BIBB WITH BACKFLOW PREVENTER;
- SHUT-OFF VALVE AND HOSE BIBB LOC. AT FRONT DETERMINED BY STREET SERVICE
- PROVIDE SOLID BACKING FOR 2X6 CENTER VERTICAL DOOR BUCK. MINIMUM (6) 16D OR FRAMING NAILS FROM DOOR BUCK TO SOLID BACKING
- 2X6 GARAGE DOOR BUCK, BOTTOM TO TERMINATE AT TOP OF STEM
- OPERABLE PARTS FOR INACTIVE LEAF OF DOUBLE DOOR SHALL NOT BE HIGHER THAN 48" A.F.F.
- 22"x32" ATTIC ACCESS 30" MIN. HEADROOM AT 4:12 PITCHED ROOF ONLY; SEE DETAIL
- MECHANICAL UNIT LOCATION ON 18" HIGH PLATFORM PROTECTED FROM VEHICLE IMPACT WHEN REQUIRED AT FLAT ROOF ELEVATION
- HARD SURFACE SEAT AT +24" A.F.F. AND SLOPED TO DRAIN
- COUNTER @ +36" AND UPPER CABINETS ABOVE. OPTION FOR LOWER CABINETS
- OPTIONAL 48" FIREPLACE
- OPTIONAL TRAY CEILING 12" DOWN FROM PLATE HEIGHT - SEE DETAILS WHERE APPLICABLE



ROOF PLAN
SCALE = 1/4"=1'-0"

MOORADIAN & ASSOCIATES

4578 N. First Avenue, Suite 140 Tucson, AZ 85718
T: (520) 408-8117 F: (520) 408-8028

Notice:

The Contractor shall verify and be responsible for all dimensions. DO NOT rely on dimensions shown on drawings. Dimensions shall be based to Mooradian & Associates, Inc. immediately. All designs, drawings and specifications are the property of Mooradian & Associates, Inc. Reproduction or distribution of any drawings or specifications other than the project for which they have been prepared or is forbidden.

BID SET
NOT FOR
CONSTRUCTION

Project:

BUNGALOWS ON ASH
Gilbert, Arizona

Client:

CAVAN PROPERTIES

CD	MARK	DATE	CLIENT DELIVERY	DESCRIPTION
		12/11/19		

PROJECT NO.:

10900a

CAD FILE:

10900a-1355-A101

DRAWN BY:

D.C.

CHECKED BY:

D.C.

SCALE:

AS NOTED

Sheet Title:

3-BEDROOM FLOOR PLAN

Drawing No.:

A1.1

SHEET

OF

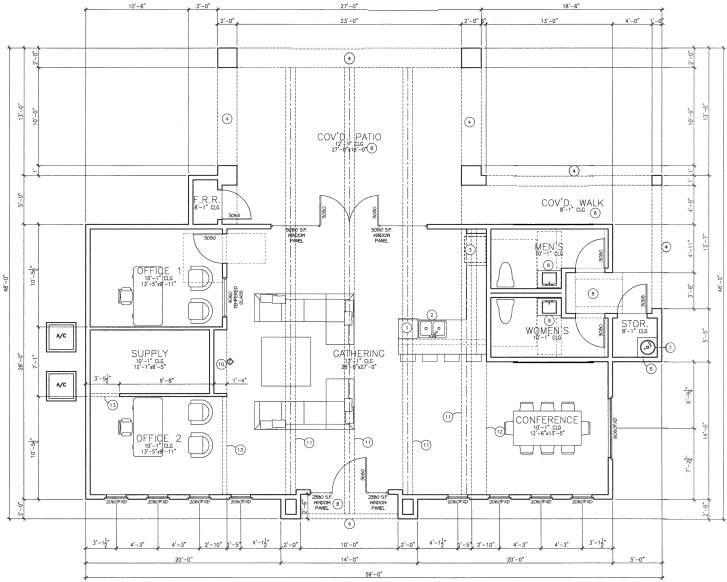
FLOOR PLAN NOTES

1. ALL WINDOW HEADER HEIGHTS ARE AT 8'-0" UNLESS NOTED OTHERWISE.
2. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
3. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
4. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
5. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
6. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
7. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
8. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
9. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
10. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
11. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
12. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.
13. ALL WINDOW SILL HEIGHTS ARE AT 2'-0" UNLESS NOTED OTHERWISE.

FLOOR PLAN KEYNOTES

1. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
2. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
3. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
4. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
5. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
6. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
7. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
8. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
9. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
10. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
11. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
12. DIMENSIONS ARE GIVEN IN FEET AND INCHES.
13. DIMENSIONS ARE GIVEN IN FEET AND INCHES.

AREA CALCULATIONS	
ENTRANCE / LOBBY	600
OFFICE 1	100
OFFICE 2	100
STORAGE	100
CONFERENCE	100
RESTROOM	100
WALKWAY	100
COVERED ENTRY	100
TOTAL FLOOR AREA	1700



FLOOR PLAN
SCALE = 1/4" = 1'-0"
JUNIOR CLUBHOUSE

MOORADIAN & ASSOCIATES

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE

CLUBHOUSE



MOORADIAN & ASSOCIATES
 10000 Wilshire Blvd., Suite 160
 Los Angeles, CA 90024
 T: (323) 458-8219
 F: (323) 458-8218
 T: (323) 458-8117

CLUBHOUSE

PROJECT

DATE

CLIENT GROUP

PROJECT NO. 120800A

CAD FILE 120800A-CLUB-400D

DRAWN BY S.C.

CHECKED BY S.C.

SCALE NOT NOTED

DATE

PROJECT NO. 120800A

CAD FILE 120800A-CLUB-400D

DRAWN BY S.C.

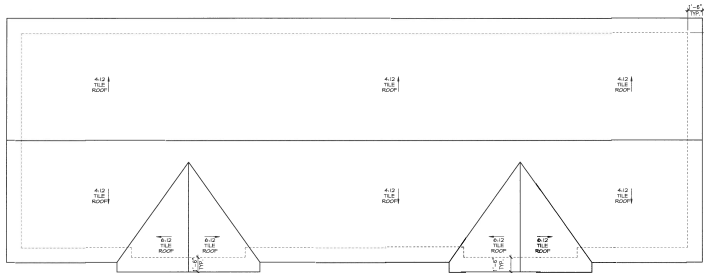
CHECKED BY S.C.

SCALE NOT NOTED

DATE

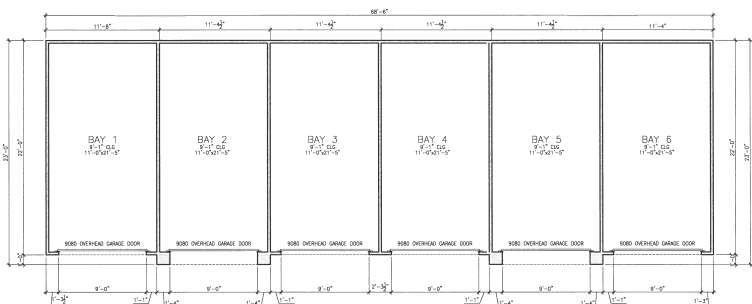
Drawing No. **A3.1**

SHEET 01



ROOF PLAN

SCALE = 1/4"=1'-0"



6-CAR GARAGE FLOOR PLAN

SYMMETRICAL ELEVATION

AREA CALCULATIONS	
GARAGE BAYS (5)	1530
TOTAL FOOTPRINT	1530

FLOOR PLAN NOTES

1. ALL WINDOW HEADER HEIGHTS ARE TO 4'-0" U.N.D.
2. ALL PENETRATIONS THROUGH THE CEILING BETWEEN GARAGE AND UNABLE AREA SHALL BE PROTECTED TO FULFILL THE OPEN AREA ABOVE THE PENETRATION WITH AN APPROVED MATERIAL TO REDUCE FIRE RISKAGE OF FLAME AND OTHER PRODUCTS OF COMBUSTION. THESE DEVICES SHALL BE INSTALLED TO THE TOP OF THE CEILING (UL CLASSIFIED B-1) (ASTM E-814 CLASS A) (MINIMUM TEST CLEAR OF 5.7 S.F.)
3. ALL WINDOW HEADINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 S.F. ALL OTHER PENETRATIONS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 20" CLEAR OPENING HEIGHT SHALL NOT EXCEED 4"X 4".
4. PROVIDE A CONTINUOUS 3'-0" WIDE MAXIMUM PATH OF EGRESS FROM ALL BEDROOMS TO THE EXTERIOR.
5. AFFIXION I.C.C. REPORTS AND MANUFACTURERS INSTALLATION INSTRUCTIONS TO BE PROVIDED TO INSPECTOR AT REUGH-IN.
6. TO ACHIEVE THE REQUIRED RATING, PROVIDE HEAVY AND WIDE AND USE THE FOLLOWING: 2X6, D.P.C. 80 (S2) AT WAIN ATTC AND (S1) (CHECK OF DESIGN), KNEE WALLS, CAPS, ETC.
7. ALL WALLS TO COMPLY WITH LIGHTING AND VENTING REQUIREMENTS PER 2018 I.B.C. SECTION 903.1
8. ALL GARD PAVES TO EXCEEDING 20" (40" OR 20" OF) REQUIRE 8" MIN. WALL

© FLOOR PLAN KEYNOTES

- [illegible]

MOORADIAN
& ASSOCIATES

Project: Bungalows

Client: **CAVAN COMPANIES**

PROJECT NO.: 108006

CAD FILE: 10000A-04-A12

DELAWARE DEPT. OF CORRECTIONS

CHECKED BY: D.C.

SCALE: AS NOTED

6-RAY GARAGE

FLOOR PLAN

1. **Introduction**

[illegible]

1

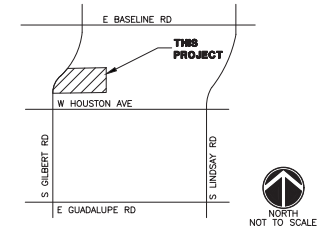
Drawing No.:

A13

A1.2

SHEET OF

THE BUNGALOWS ON ASH GILBERT RD & ASH ST PHOTOMETRIC LIGHTING PLAN



ELECTRICAL ENGINEER:
WRIGHT ENGINEERING CORPORATION
165 EAST CHILTON DRIVE
CHANDLER, AZ 85225
PHONE: (480) 497-5829
FAX: (480) 497-5807
CONTACT: JACOB BIELEFELD
EMAIL: JBIELEFELD@WRIGHTENGINEERING.US

SHEET INDEX

SHEET PH1 - PHOTOMETRIC SITE PLAN
SHEET PH2 - PHOTOMETRIC CALCULATIONS
SHEET PH3 - PHOTOMETRIC CALCULATIONS
SHEET PH4 - PHOTOMETRIC CALCULATIONS
SHEET PH5 - PHOTOMETRIC CALCULATIONS
SHEET PH6 - DETAILS



PHOTOMETRIC SITE PLAN

WRIGHT
engineering corporation

ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHILTON DRIVE • CHANDLER, ARIZONA 85225
PHONE 480.497.5829 • FAX 480.497.5807

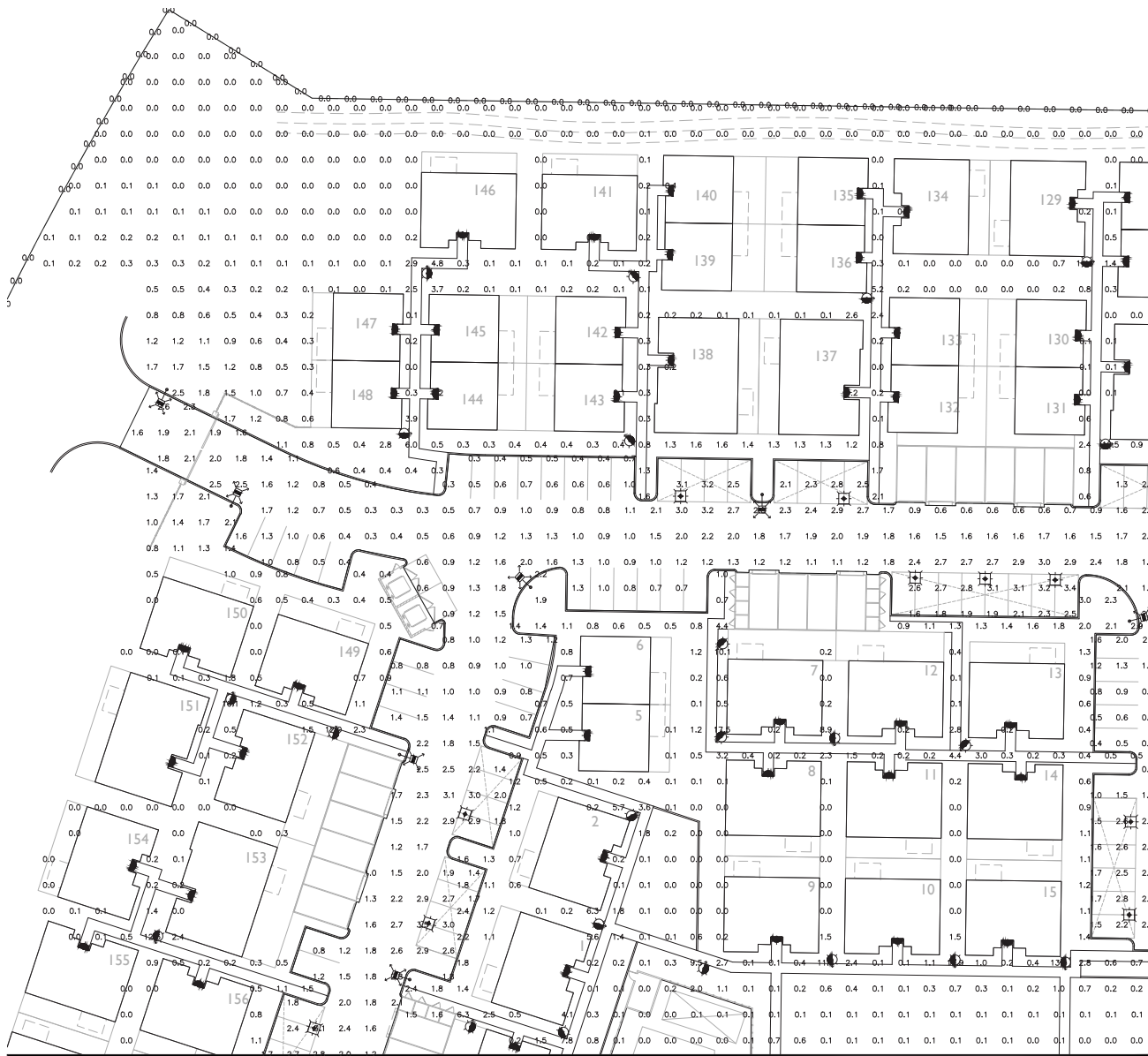
**PHOTOMETRIC CALCULATION
SHEET. FOR INFORMATION ONLY.**

PROJECT NAME:
THE BUNGALOWS ON ASH
GILBERT RD & ASH ST
PHOTOMETRIC LIGHTING

WRIGHT ENG.
PROJECT NO: 19829

DESIGN BY: TSP

PH1



LEGEND

- VISIONAIRE LIGHTING
70W LED
PREMIER BOLLARD
candela file "PRB-1_TSW_20LC_3_KIES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.810, watts per luminaire = 22
mounting height= 3.2 ft
number locations= 44, number luminaires= 74
kw all locations= 1.6
- EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING) CNC-E01-LED-E1-SQ
candela file "CNC-E01-LED-E1-SQ.lcd"
21 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 25
mounting height= 8.5 ft
number locations= 44, number luminaires= 44
kw all locations= 1.1
- Lithonia Lighting DSX1 LED P2 30K TSW MVOLT
lamp(s): LED
ballast: LED DRIVER
candela file "DSX1_LED_P2_30K_TSW_MVOLT (1).ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 70
mounting height= 15 ft
number locations= 27, number luminaires= 27
kw all locations= 1.9
- LIGHTWAY INDUSTRIES - FLUORESCENT WALL MOUNT LUMINAIRE - MISSION SERIES VALU
lamp(s): PL-513W/277
LUMEN RATING = 1800 LMS.
candela file "VALU.IES"
1 lamp(s) per luminaire, 1800 initial lumens per lamp
Light Loss Factor = 0.810, watts per luminaire = 30
mounting height= 18 ft
number locations= 165, number luminaires= 165
kw all locations= 5.0

CALCULATIONS

DRIVE AISLE & PARKING
1226 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.7
Maximum 6.9
Minimum 0.2
AvgMin 8.28
MaxMin 34.50
Coef Var 0.52
UniGrad 17.25

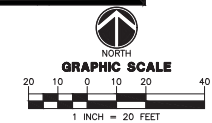
OPEN SPACE
2832 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.7
Maximum 18.9
Minimum 0.0
AvgMin N/A
MaxMin N/A
Coef Var 1.63
UniGrad N/A

PROPERTY LINE
340 points
HORIZONTAL FOOTCANDLES
Average 0.1
Maximum 1.5
Minimum 0.0
AvgMin N/A
MaxMin N/A
Coef Var 3.95

MATCH LINE 'A' SEE SHEET PH3

MATCH LINE 'B' SEE SHEET PH4

PHOTOMETRIC CALCULATIONS



KEY MAP

NO SCALE



WRIGHT
engineering corporation

ELECTRICAL ENGINEERING AND DESIGN
185 EAST CHILTON STREET • CHANDLER, ARIZONA 85225
PHONE 480.897.5828 • FAX 480.897.5832

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

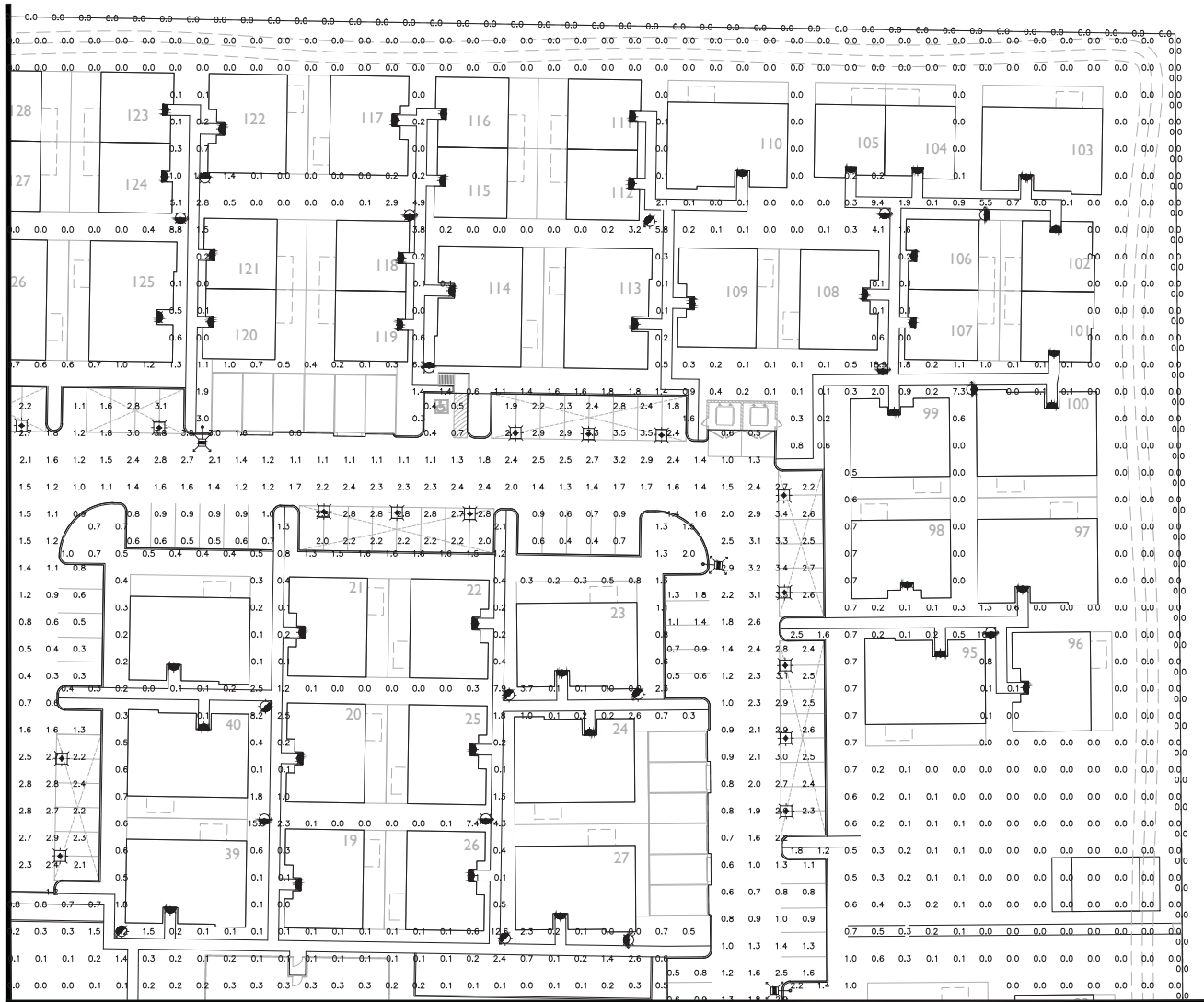
PROJECT NAME:
THE BUNGALOWS ON ASH
GILBERT RD & ASH ST

WRIGHT ENG. PROJECT NO: **10929**

DESIGN BY: TSP **PH2**

Copyright © 2012 Wright Engineering Corporation
All Rights Reserved

MATCH LINE 'A' SEE SHEET PH2



MATCH LINE 'D' SEE SHEET PH5

LEGEND

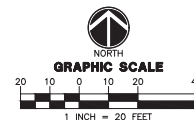
- VISIONAIRE LIGHTING**
 70W LED
 PREMIER BOLLARD
 candela file "PMB-1.TSW_20LC_3_KIES"
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.810, watts per luminaire = 22
 mounting height= 3.5 ft.
 number locations= 74, number luminaires= 74
 kw all locations= 1.6
- EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING) CNC-E01-LED-E1-SQ**
 candela file "CNC-E01-LED-E1-SQ.lvs"
 21 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.900, watts per luminaire = 25
 mounting height= 8.5 ft.
 number locations= 44, number luminaires= 44
 kw all locations= 1.1
- Lithonia Lighting - DSX1 LED P2 30K T5W MVOLT**
 SCALED PHOTOMETRY test report no. ISF 34048P4
 lamp(s): LED
 ballast: LED DRIVER
 candela file "DSX1_LED_P2_30K_T5W_MVOLT (1).lvs"
 1 lamp(s) per luminaire, photometry is absolute
 Light Loss Factor = 0.800, watts per luminaire = 70
 mounting height= 15 ft.
 number locations= 27, number luminaires= 27
 kw all locations= 1.9
- LIGHTWAY INDUSTRIES - FLUORESCENT WALL MOUNT LUMINAIRE - MISSION SERIES VALW**
 candela file "VALW.lvs"
 1 lamp(s) per luminaire, 1800 initial lumens per lamp
 Light Loss Factor = 0.810, watts per luminaire = 30
 mounting height= 15 ft.
 number locations= 165, number luminaires= 165
 kw all locations= 5.0

CALCULATIONS

DRIVE AISLE & PARKING	
1226 points at ± 0 , sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	1.7
Maximum	6.9
Minimum	0.2
Avg/Min	8.26
Max/Min	34.50
Coef Var	0.52
Uniformity	17.25
OPEN SPACE	
2832 points at ± 0 , sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	0.7
Maximum	18.9
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	2.63
Uniformity	N/A
PROPERTY LINE	
340 points	
HORIZONTAL FOOTCANDLES	
Average	0.1
Maximum	1.5
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	3.95



PHOTOMETRIC CALCULATIONS

KEY MAP
NO SCALE

WRIGHT
 engineering corporation
 ELECTRICAL ENGINEERING AND DESIGN
 165 EAST CHRYSLER DRIVE • CHANDLER, ARIZONA 85225
 PHONE 480 897 5829 • FAX 480 897 5837

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

PROJECT NAME:
 THE BUNGALOWS ON ASH
 GILBERT RD & ASH ST
 PHOTOMETRIC LIGHTING

WRIGHT ENG.
 PROJECT NO: 10929

DESIGN BY: TSP

DATE: 5-18-22

PH43

MATCH LINE 'B' SEE SHEET PH2

LEGEND

- VISIONAIRE LIGHTING
70W LED
PRIMER BOLLARD
candelabra file "PRB-1_TSW_20LC-3_3KIES"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.810, watts per luminaire = 22
mounting height= 3.2 ft
number locations= 74, number luminaires= 74
kw all locations= 1.6
- EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING) CNC-E01-LED-E1-SQ
21 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.800, watts per luminaire = 25
mounting height= 8.5 ft
number locations= 44, number luminaires= 44
kw all locations= 1.1
- Lithonia Lighting DSX1 LED P2 30K TSW MVOLT
scaled PHOTOMETRY test report no. ISF 34048P4
candelabra file "DSX1_LED_P2_30K_TSW_MVOLT (1).ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.800, watts per luminaire = 70
mounting height= 15 ft
number locations= 27, number luminaires= 27
kw all locations= 1.9
- LIGHTWAY INDUSTRIES - FLUORESCENT WALL MOUNT LUMINAIRE -
MISSION SERIES VALW
scaled PHOTOMETRY test report no. ISF 34048P4
candelabra file "PL-S13W-27"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.810, watts per luminaire = 30
mounting height= 18 ft
number locations= 165, number luminaires= 165
kw all locations= 5.0

CALCULATIONS

DRIVE AISLE & PARKING	
1226 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	1.7
Maximum	6.9
Minimum	0.2
Avg/Min	8.26
Max/Min	34.50
Coef Var	0.52
Uniformity	17.25
OPEN SPACE	
2832 points at z=0, sp 10ft by 10ft	
HORIZONTAL FOOTCANDLES	
Average	0.7
Maximum	18.9
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	N/A
Uniformity	N/A
PROPERTY LINE	
340 points	
HORIZONTAL FOOTCANDLES	
Average	0.1
Maximum	1.5
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A
Coef Var	3.95

MATCH LINE 'C' SEE SHEET PH5

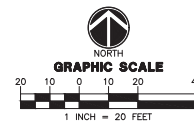


KEY MAP

NO SCALE



PHOTOMETRIC CALCULATIONS



WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
185 EAST CHURCH STREET • CHANDLER, ARIZONA 85225
PHONE 480 857 5828 • FAX 480 857 5837

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.

PROJECT NAME:
THE BUNGALOWS ON ASH
GILBERT RD & ASH ST
PHOTOMETRIC LIGHTING

WRIGHT ENG.
PROJECT NO: 19929

DESIGN BY: TSP

DATE: 5-18-22

PH4

MATCH LINE 'D' SEE SHEET PH3

LEGEND

- VISIONAIRE LIGHTING
70W LED
PREMIER BOLLARD
candeled file "PRB-1_TSW_20LC_3_3K.ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.810, watts per luminaire = 22
mounting height = 3.2 ft
number locations = 74, number luminaires = 74
kw all locations = 1.6
- EATON - McGRAW-EDISON (FORMER COOPER LIGHTING) CNC-E01-LED-E1-SQ
candeled file "CNC-E01-LED-E1-SQ.ies"
21 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 25
mounting height = 8.5 ft
number locations = 44, number luminaires = 44
kw all locations = 1.1
- Lithonia Lighting DSX1 LED P2 30K TSW MVOLT
SCALED PHOTOMETRY test report no. ISF 34048P4
lamp(s): LED
ballast: LED DRIVER
candeled file "DSX1_LED_P2_30K_TSW_MVOLT (1).ies"
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 70
mounting height = 15 ft
number locations = 27, number luminaires = 27
kw all locations = 1.9
- LIGHTWAY INDUSTRIES - FLUORESCENT WALL MOUNT LUMINAIRE -
MISSION SERIES VALU
lamp(s): PL-513W/27, LUMEN RATING = 1800 LMS.
candeled file "VALU.ies"
1 lamp(s) per luminaire, 1800 initial lumens per lamp
Light Loss Factor = 0.810, watts per luminaire = 30
mounting height = 18 ft
number locations = 165, number luminaires = 165
kw all locations = 5.0

CALCULATIONS

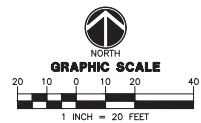
DRIVE AISLE & PARKING
1226 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.7
Maximum 6.9
Minimum 0.2
Avg/Min 8.26
Max/Min 34.50
Coef Var 0.52
Uniformity 17.25

OPEN SPACE
2832 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 0.7
Maximum 8.9
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 2.63
Uniformity N/A

PROPERTY LINE
340 points
HORIZONTAL FOOTCANDLES
Average 0.1
Maximum 1.5
Minimum 0.0
Avg/Min N/A
Max/Min N/A
Coef Var 3.95



PHOTOMETRIC CALCULATIONS



KEY MAP
NO SCALE

WRIGHT
engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
185 EAST CHILTON STREET • CHANDLER, ARIZONA 85225
PHONE 480 897 5828 • FAX 480 897 5837

PHOTOMETRIC CALCULATION SHEET. FOR INFORMATION ONLY.
PROJECT NAME:
THE BUNGALOWS ON ASH
GILBERT RD & ASH ST
PHOTOMETRIC LIGHTING
WRIGHT ENG. PROJECT NO: 19829
DESIGN BY: TSP

PH5



D-Series Size 1 LED Area Luminaire

Specifications:

- 85% Efficacy
- Length: 3' 0"
- Width: 1' 0"
- Height: 1' 0"
- Weight: 25 lbs

Introduction:

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series details the benefits of the latest in LED technology into a high performance, high efficiency, long life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It's ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

EXAMPLE: DSK1 LED P7 40K T3M MVOLT SPA NL2AR2 PIRHN DBX02

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800-123-1234 • Fax 404-123-1234
© 2014 Lithonia Lighting. All rights reserved.



McGraw-Edison

DESCRIPTION:

LED luminaire features a rugged and low profile housing construction incorporating patent pending, exclusive LED LightBulb™ technology. Through superior optical control, the Concise luminaire delivers uniform and energy conscious illumination optimized to improve outdoor movement and pedestrian safety. UL/ULC listed for wet locations.

CONCRETE:

One piece, low profile die cast aluminum housing features heavy wall construction and resistance to corrosion. Recessed aluminum housing is secured via four stainless steel fasteners and is resistant for clean mating of door and housing. Optional tamper-proof Tors™ head fasteners offer added resistant access to the wiring compartment.

OPTICS:

Choice of nine patented, high-efficiency Aspec® Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and distribution accuracy. Aspec® Optics technology creates consistent distributions with the capability to meet customized requirements. Optional distribution is ASPEC™ (see T3M, CCT and maximum 75 CRI). Optional DSK1, CCT, ASPEC and DSK1, CCT.

MEASUREMENTS:

Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface.

EXAMPLE: DSK1 LED P7 40K T3M MVOLT SPA NL2AR2 PIRHN DBX02

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800-123-1234 • Fax 404-123-1234
© 2014 Lithonia Lighting. All rights reserved.



PREMIER Bollard LED Specifications

DESCRIPTION:

The new Premier Bollard LED Series continues the unique contemporary design inspired by the sleek lines of the Premier 1 Series. Featuring the Concise™ from the industrial design aluminum LED luminaire, the Premier Bollard LED Series is designed to provide a modern look to any outdoor space.

CONCRETE:

One piece, low profile die cast aluminum housing features heavy wall construction and resistance to corrosion. Recessed aluminum housing is secured via four stainless steel fasteners and is resistant for clean mating of door and housing. Optional tamper-proof Tors™ head fasteners offer added resistant access to the wiring compartment.

OPTICS:

Choice of nine patented, high-efficiency Aspec® Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and distribution accuracy. Aspec® Optics technology creates consistent distributions with the capability to meet customized requirements. Optional distribution is ASPEC™ (see T3M, CCT and maximum 75 CRI). Optional DSK1, CCT, ASPEC and DSK1, CCT.

MEASUREMENTS:

Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface.

EXAMPLE: DSK1 LED P7 40K T3M MVOLT SPA NL2AR2 PIRHN DBX02

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800-123-1234 • Fax 404-123-1234
© 2014 Lithonia Lighting. All rights reserved.



VALV-LED

DESCRIPTION:

The VALV-LED luminaire is a modern, minimalist design that provides a clean, contemporary look to any outdoor space. It features a die-cast aluminum housing and a high-efficiency LED light source.

CONCRETE:

One piece, low profile die cast aluminum housing features heavy wall construction and resistance to corrosion. Recessed aluminum housing is secured via four stainless steel fasteners and is resistant for clean mating of door and housing. Optional tamper-proof Tors™ head fasteners offer added resistant access to the wiring compartment.

OPTICS:

Choice of nine patented, high-efficiency Aspec® Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and distribution accuracy. Aspec® Optics technology creates consistent distributions with the capability to meet customized requirements. Optional distribution is ASPEC™ (see T3M, CCT and maximum 75 CRI). Optional DSK1, CCT, ASPEC and DSK1, CCT.

MEASUREMENTS:

Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface. Standard dimensions for a square or rectangular surface.

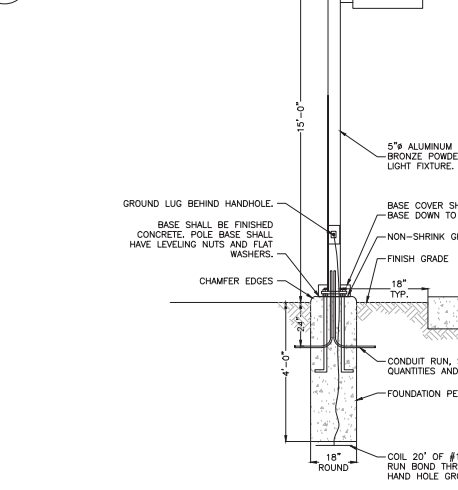
EXAMPLE: DSK1 LED P7 40K T3M MVOLT SPA NL2AR2 PIRHN DBX02

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

Model	SKU	LED Luminaire	Quantity	Notes
DSK1-LED	DSK1-LED	DSK1-LED	1	
P7	P7	P7	1	
40K	40K	40K	1	
T3M	T3M	T3M	1	
MVOLT	MVOLT	MVOLT	1	
SPA	SPA	SPA	1	
NL2AR2	NL2AR2	NL2AR2	1	
PIRHN	PIRHN	PIRHN	1	
DBX02	DBX02	DBX02	1	

LITHONIA LIGHTING
One Lithonia Way • Conley, Georgia 30124 • Phone 800-123-1234 • Fax 404-123-1234
© 2014 Lithonia Lighting. All rights reserved.

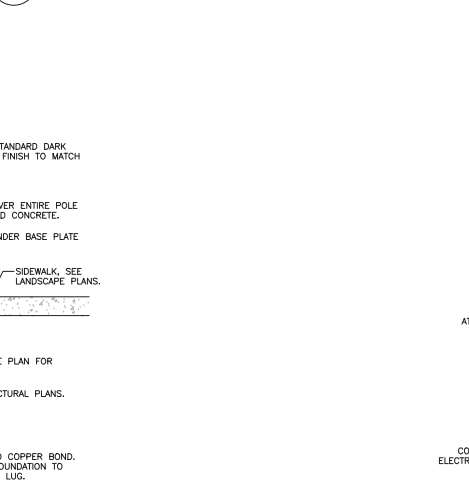
1 AREA LIGHT CUTSHEET



1 AREA LIGHT DETAIL



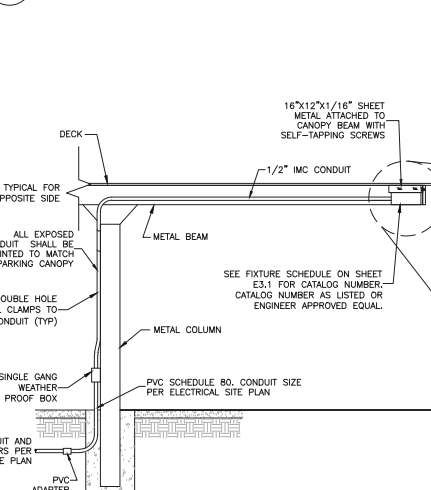
2 CARPORT LIGHT CUTSHEET



2 CARPORT LIGHT INSTALLATION ELEVATION



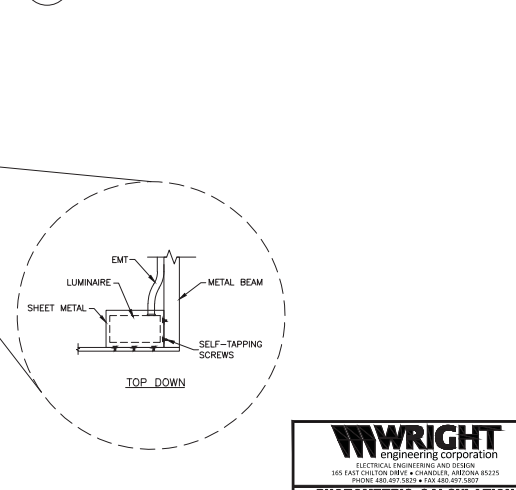
2 BOLLARD LIGHT CUTSHEET



2 BOLLARD LIGHT INSTALLATION ELEVATION



2 PORCH LIGHT CUTSHEET



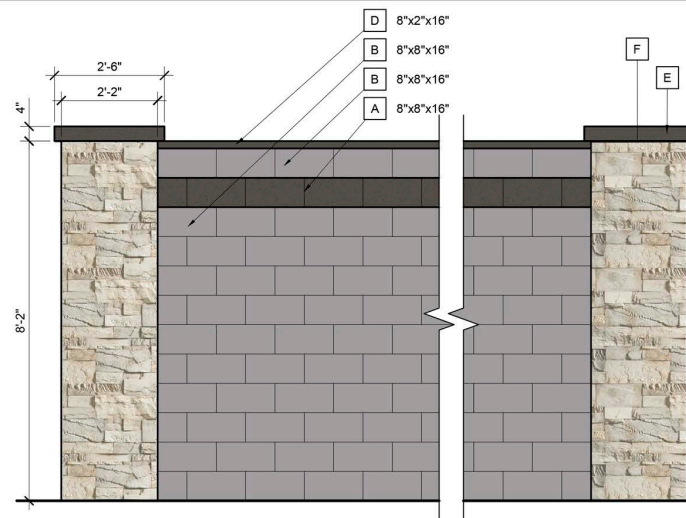
2 PORCH LIGHT INSTALLATION ELEVATION



WRIGHT engineering corporation
ELECTRICAL ENGINEERING AND DESIGN
165 EAST CHURCH STREET • CHANDLER, ARIZONA 85225
PHONE 480 957 5829 • FAX 480 957 5837

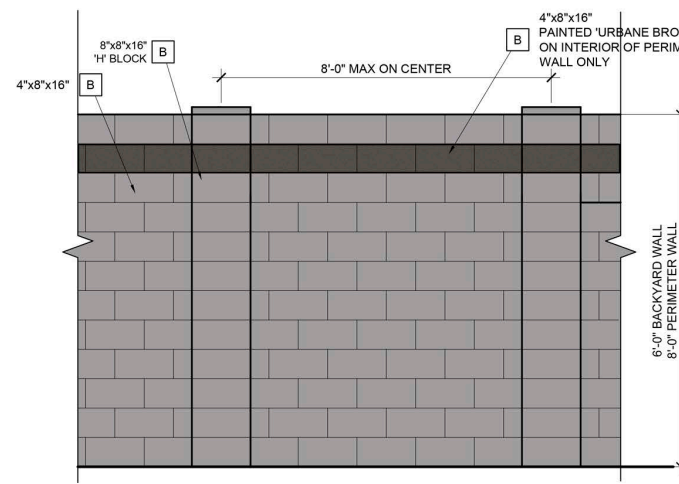
PHOTOMETRIC CALCULATION SHEET FOR INFORMATION ONLY.

PROJECT NAME: THE BUNGALOWS ON ASH GILBERT RD & ASH ST
PROJECT NO: 10929
WRIGHT ENG. 10929
DESIGN BY: TSP



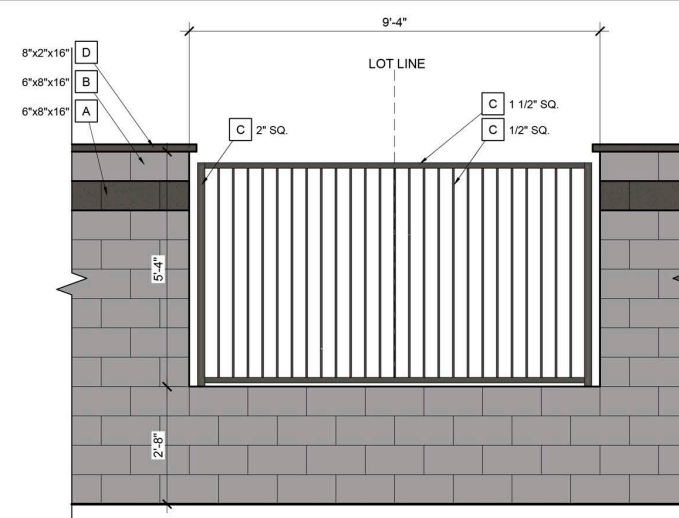
1 8' Theme Wall and Column Elevation

SCALE: 1/2" = 1'-0"



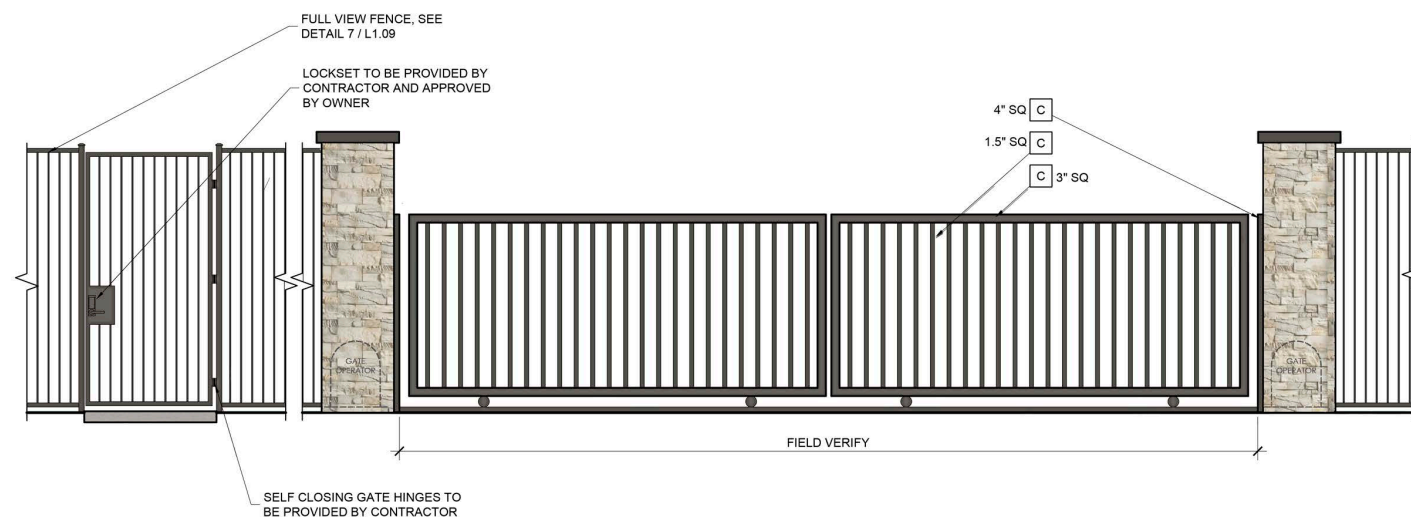
2 Builder Wall

SCALE: 1/2" = 1'-0"



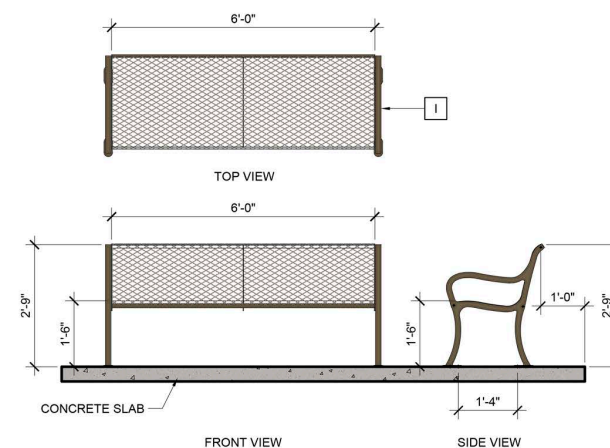
3 Partial View Wall - 5' 4" over 2' 8"

SCALE: 1/2" = 1'-0"



4 Vehicle and Pedestrian Gate

SCALE: 3/8" = 1'-0"



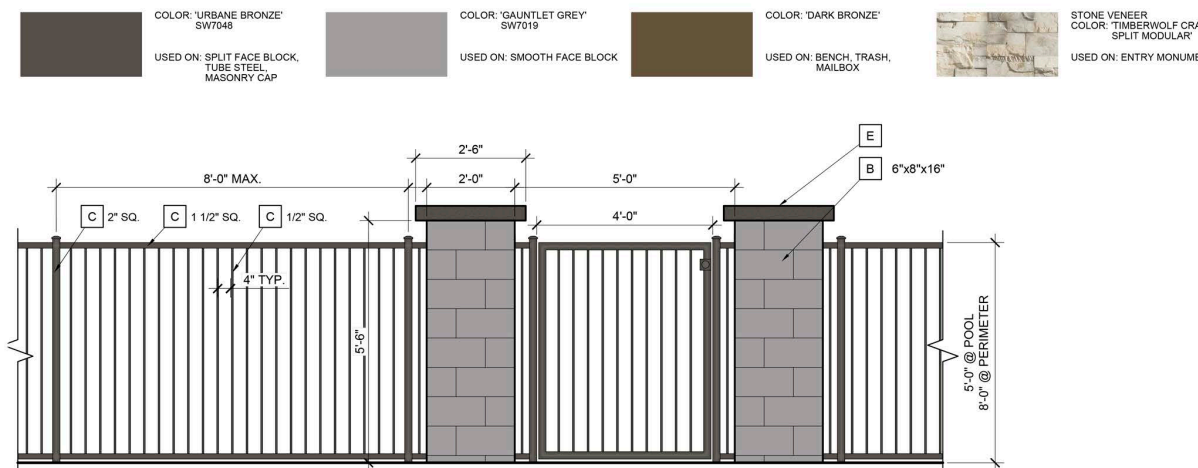
5 Bench

SCALE: 1/2" = 1'-0"



6 Entry Monument Elevation

SCALE: 1/2" = 1'-0"



7 View Fencing and Gate

SCALE: 1/2" = 1'-0"

ITEM COLOR FINISH SPECIFICATIONS	SPLIT FACE BLOCK SW7048 'URBANE BRONZE' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	SMOOTH FACE BLOCK SW7019 'GAUNTLET GREY' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	TUBULAR STEEL SW7048 'URBANE BRONZE' SATIN FINISH PAINT ALL SIZES PER PLANS & DETAILS. ALL TUBULAR STEEL ENDS SHALL BE CAPPED. ALL WELDS & SHARP EDGES / CORNERS SHALL BE GROUND SMOOTH. PRIME & PAINT PER PAINT MFR'S SPEC'S. LOCALLY SOURCED
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	MASONRY CAP SW7048 'URBANE BRONZE' STANDARD GREY BLOCK / SATIN FINISH PAINT ALL BLOCK SIZES PER PLANS & DETAILS. JOINTS SHALL BE CONCAVE. BLOCK SHALL BE PRIMED & PAINTED PER PER MFR'S SPEC'S. SUPERLITE BLOCK (1.800.366.7877, www.superliteblock.com) SHERWIN-WILLIAMS (1.800.4.SHERWIN, www.sherwin-williams.com)
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	PRECAST CONCRETE CAP SW7048 'URBANE BRONZE'
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	STONE VENEER TIMBERWOLF CRAFT SPLIT MODULAR STANDARD GRAY GROUT & MORTAR WASH. INSTALL PER MFR'S SPEC'S. CREATIVE MINES
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	CAST IN PLACE CONCRETE WALL NATURAL GRAY SMOOTH
MANUFACTURER	
ITEM COLOR FINISH SPECIFICATIONS	LETTERING BLACK STANDARD 7" AND 12" HEIGHT PER DETAIL, PINNED AND BACKLIT
MANUFACTURER	LOCAL SIGN MFR.
ITEM COLOR FINISH SPECIFICATIONS	CLUSTER BOX 'BRONZE' N/A 16 DOOR USPS CLUSTER BOX UNIT (3316-BRZ-U) ON MATCHING PEDESTAL (3385) INSTALL PER MFR. SPEC'S.
MANUFACTURER	SALSBURY INDUSTRIES (www.mailboxes.com, 800.624.5269)
ITEM COLOR FINISH SPECIFICATIONS	LOGO BLACK STANDARD SIZE PER DETAIL, PINNED AND BACKLIT
MANUFACTURER	LOCAL SIGN MFR.